

**EXTRAORDINARY COUNCIL MEETING**

**WEDNESDAY, 16 JANUARY 2019**

**ATTACHMENT BOOKLET 1**

Attachment No. 4	Atatchments that were provided with Report 'Development Application 2018.087 – Funeral Home and Mortuary, 60 Polworth St, Tenterfield' presented at the 19 December Ordinary Council Meeting 2018
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## **PRESCRIBED CONDITIONS**

1. All work must be carried out in accordance with the requirements of the National Construction Code.

*Reason: To comply with the provisions of Clause 98 of the Environmental Planning & Assessment Regulation 2000.*

2. A sign must be erected in a prominent position on any site on which building work, subdivision work or demolition work is being carried out, such sign is to be maintained while the work is being carried out, but must be removed when the work has been completed. The sign must include the following:

- Showing the name, address and telephone number of the principal certifying authority for the work, and
- Showing the name of the principal contractor (if any) for any building work and a telephone number on which that person may be contacted outside working hours, and
- Stating that unauthorised entry to the work site is prohibited.

*Reason: To comply with the provisions of Clause 98A of the Environmental Planning & Assessment Regulation 2000.*

## **GENERAL CONDITIONS**

3. All storm water (or rainwater tank overflow) must be diverted to the satisfaction of Council and clear of any structures and property boundaries. Gutter and downpipes are to be provided and stormwater infrastructure as indicated on the approved plans.

*Reason: To comply with Council requirements.*

4. The construction and operation of the premises is to comply with the *Public Health Regulation 2012*, or equivalent, in the event that the Public Health Regulation is repealed or replaced.

*Reason: To comply with relevant public health legislation at all times.*

5. Access and facilities for disabled people shall be provided in the building or portion of the building in accordance with the National Construction Code and to the standards set out in AS 1428.1.

*Reason: To comply with the National Construction Code.*

6. Earthworks associated with the construction of the building must comply with part 3.1 and 3.2 of the NCC if they are to be maintained by means of an unprotected embankment. Alternatively a retaining wall is required to be installed to the earthworks, if you opt to use this method details of the retaining walls construction are to be provided to Council prior to its installation.

*Reason: To comply with the Environmental Planning and Assessment Act and the NCC.*

7. The development must be undertaken strictly in accordance with the details set out on the application form, any information submitted with the application and the plans submitted, as amended in red by Council, or as modified by the conditions of this Notice of Determination.

Plans Provided by Efficient Building Design Services (EBDS) dated 03/09/2018.  
Project No. 18-049, described as 'Proposed Funeral Home, 60 Polworth Street, Tenterfield, Tenterfield Family Funerals

- 5 000 Cover Page
- 5 001 Site Plan
- 5 100 Floor Plan Funeral Home
- 5 100 A Floor Plan Existing Cafe
- 5 101 Floor Plan Existing Café to Chapel
- 5 200A to D Elevations - North, East, South and West
- 5 201A to D Elevations - North, East, South and West
- 5 201A to D Elevations - North, East, South and West with Landscaping

Note: Any proposal to modify the terms or conditions of this consent, whilst still maintaining substantially the same development to that approved, will require the submission of a formal application under Section 96 of the Environmental Planning and Assessment Act 1979 for Council's consideration. If amendments to the design result in the development not remaining substantially the same as that approved by this consent, a new Development Application will have to be submitted to Council.

*Reason: To confirm and clarify the terms of Council's approval.*

8. The development shall operate during the following hours;

**Office/Mortuary Building** - Accessible 24 hours/7 Days year round for receipt of deceased.

**Reception Facility**

Monday to Friday - 9.00am to 6.00pm

Saturday - 9.00am to 12.00noon

Sunday - 9.00am to 12.00noon

Last Wednesday in November each year - Reflection Service held for families and friends who have lost loved ones in the prior year - until 9.00pm

*Reason: To maintain the amenity of the area.*

9. The lighting of the premises shall be shielded and directed so as not to cause annoyance to the owners or occupiers of adjoining premises or glare to motorists on adjoining or nearby roads.

*Reason: To ensure that the social effects which arise from the proposed development are of a positive character and that the safety of pedestrian and vehicular movement in the locality is assured.*

10. There is to be no access to the lot from the public road system, other than in accordance with a Section 138 permit issued by Council in accordance with the Roads Act 1993 and Council's Road Network Management Plan. The installed access must be approved by Council prior to use and issue of the Occupation Certificate for the development.

*Reason: To ensure adequate access is available to the development.*

11. That all plumbing and draining shall in accordance with the requirements of NSW Code of Practice for Drainage and AS 13500 Plumbing and Drainage.

*Reason: To comply with the National Construction Code.*

12. Any demolition of the building structure is to be carried out in accordance with provisions of Australian Standard AS 2601 and the SafeWork NSW regulations.

*Reason: To protect the health and safety of the community.*

13. Illuminated exit signs shall be installed in the building above or adjacent to every:
- i. door providing direct egress from a storey to a required exit;
  - ii. door from an enclosed stairway, passageway or ramp at every level of discharge to a road or open space;
  - iii. horizontal exit;
  - iv. door serving as, or forming part of a required exit in a storey required to be provided with emergency lighting.

Additional exit signs shall be installed in appropriate positions in corridors, hallways, lobbies, foyers and the like indicating the direction to a required exit. Design and installation of Exit signs shall comply with AS2293.1

*Reason: To comply with the National Construction Code.*

14. An Emergency Lighting System shall be installed in the building to:
- i. fire isolated stairways;
  - ii. fire isolated ramps;
  - iii. fire isolated passageways;
  - iv. passageways, corridors, hallways or the like that is part of the path of travel to an exit;
  - v. required non-fire isolated stairs;
  - vi. all storeys, rooms and spaces having prescribed floor areas;
  - vii. required fire control centre.

The Emergency Lighting System shall comply with AS 293.1.

*Reason: To comply with the National Construction Code.*

15. Door(s) in a required exit, forming part of a required exit or in the path of travel to a required exit shall be readily openable without a key from the side that faces a person seeking egress, by a single hand downward action or pushing action on a single device which is located between 900 mm and 1100 mm from the floor. Note: "Turn Knob" and nib type latches, pad bolts, slide bolts, etc are not permitted.

*Reason: To comply with the National Construction Code.*

16. Portable fire extinguishers must be provided as listed below and must be selected, located and distributed in accordance with AS 2444:
- (a) to cover Class A (E) or (E) Classification fire risks associated with emergency services switchboards. NB: an emergency services switchboard is one which sustains emergency equipment operation in the emergency mode;
  - (b) to cover Class F fire risks involving cooking oils and fats in kitchens;
  - (c) to cover Class B fire risks in locations where flammable liquids in excess of 50 litres are stored or used (not including that held in fuel tanks in vehicles); and
  - (d) to cover Class A fire risks in normally occupied fire compartments less than 500 square metres not provided with hose reels (excluding open deck carparks).

*Reason: To comply with the National Construction Code.*

17. The building owner shall, in every 12 month period thereafter, have the above "essential services" inspected by a competent person and submit to Council a further certificate certifying that the provision/performance of all essential services and such items listed above meet the minimum specified requirements.

*Reason: To comply with the National Construction Code.*

18. Finished ground levels are to slope away from the building at a minimum rate of 50mm in the first 1m from the building. Surface water must be prevented from entering neighbouring properties or escaping across the footpath (where applicable). This may be achieved by the use of landscaping, grated drains and sumps or other means to the satisfaction of Council.

*Reason: To keep water clear of building foundations and comply with the Environmental Planning and Assessment Act 1979 and Regulations.*

19. To prevent soil leaving the site and entering the stormwater system and causing pollution of rivers and creeks erosion and sediment controls are to be installed prior to work commencing and include the following:

The installation of a sediment fence with returned ends across the low side of the site so that all water flows through. Drains, gutters, roadways etc shall be kept clean and free of sediment. To prevent the movement of soil off site, a single entry/exit point to the property shall be constructed of 40mm blue metal aggregate or recycled concrete to a depth of 150 mm. The length must be a minimum of 5 m and a width of 3 these measures shall be maintained throughout the course of construction and until all disturbed areas are restored by turbing, paving or revegetation.

*Reason: To comply with the requirements of the Protection of the Environmental Operations Act 1997 and protect the amenity of the local environment.*

## **DURING CONSTRUCTION**

20. Construction, demolition and associated work shall be carried out only between the times stated as follows:-

Mondays to Fridays	7.00am to 6.00pm
Saturdays	8.00am to 1.00pm

### **No construction work to take place On Sundays & Public Holidays**

*Reason: To ensure that the environmental quality of adjoining land is not adversely affected, such as by the generation of excessive noise levels.*

21. All building materials, plant and equipment is to be placed on the building site. Building materials, plant and equipment (including water closets), are not to be placed on footpaths, roadways, public reserves etc.

*Reason: To ensure pedestrian and vehicular access is not restricted in public places.*

22. The Construction site shall be suitably protected from the entry of unauthorised persons at all times prior to the completion of the works.

*Reason: To protect the health and safety of the community.*

23. Provision shall be made for unrestricted pedestrian access within the footpath area across the frontage of the development during construction. Suitable temporary hoarding or barriers, approved by the Council, shall be erected to maintain pedestrian access during the construction phase.

*Reason: To comply with Council requirements.*

## **PRIOR TO OCCUPATION**

24. Any damage caused to footpaths, roadways, utility installations and the like by reason of construction operations shall be made good and repaired to a standard equivalent to that existing prior to commencement of construction.

*Reason: To comply with Council requirements.*

25. A complete 'Notice of Work', 'Certificate of Compliance' and 'Works as Executed Sewer Services Diagram', including all measurements and distances from the boundaries, dwelling and inspection openings, and must include all on-site detention facilities, surface and roof water drainage, this is to be submitted in detail to Council by a licensed plumber at the time of the external drainage/stormwater inspection.

*Reason: To ensure the internal and external drainage and the stormwater systems as constructed, are recorded accurately.*

26. A detailed landscape plan shall be submitted and approved by Council prior to the inspection of frame for the new building and is to be prepared by a suitably qualified landscaper or equivalent. The landscape plan shall detail a planting schedule, plant maturity at planting time, expected timeframe for mature height and details of mature height, along with a maintenance schedule. The plan is to include contingencies for the ongoing screening of the site along the western boundary in the event that the existing hedge deteriorates. All landscape works shall be completed in accordance with the approved landscape plan, prior to occupation and maintained thereafter.

*Reason: To ensure the amenity of the site is maintained and appropriate filtering and screening of the development is achieved.*

27. Landscaping of the site is to be maintained in a neat and tidy manner for the life of the development.

*Reason: To ensure the continued amenity of the locality.*

28. In the event that Council's Trade Waste policy applies to the development at any future stage, consultation with Council staff must be undertaken prior to the installation of any system, and appropriate approval obtained to dispose of any trade waste.

*Reason: To comply with Council requirements.*



29. Occupation or use of premises for the purposes approved by this consent shall not commence until all conditions of this consent have been complied with and the Occupation Certificate has been issued.

*Reason: To ensure compliance with the provisions of the Environmental Planning and Assessment Act, 1979, and Council's terms of consent.*



3D View 1

~ Building Design - Residential & Commercial  
~ 2D & 3D Drafting ~ Basic Certificates  
~ OSSM Design ~ NATHERS Assessments  
Post : PO Box 25 TENTERFIELD NSW 2372  
Email : cal.grogan@gmail.com  
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ABN : 63630835231



Revision	Description	Date	Issued By
5	Revision 5	13/11/2018	CG
4	Revision 4	07/11/2018	CG
3	Trusts Draft	31/10/2018	CG
2	DA Lodgement	27/09/2018	CG
1	Preliminary Design	03/09/2018	CG

Proposed Funeral Home  
60 Polworth Street  
TENTERFIELD  
Tenterfield Family Funerals

## COVER PAGE

project number	18-049
date	03/09/2018
drawn by	CG
checked by	CG
Scale	5 000







5231

Proposed Funeral Home  
60 Polworth Street  
TENTERFIELD

project number	18-049	5100
date	03/09/2018	
drawn by	CG	
checked by	CG	
		Scale

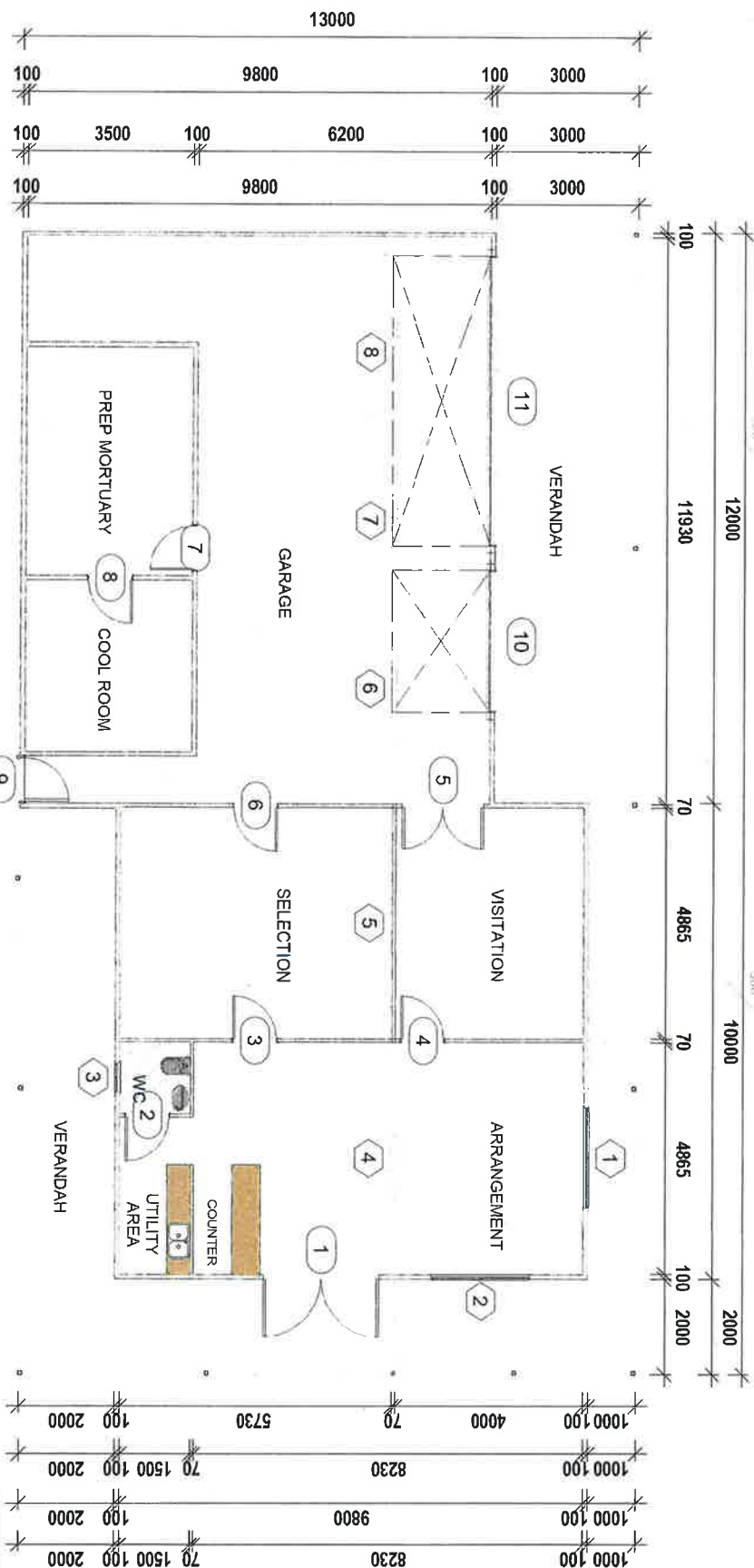
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			12130							9870					2000

**B Floor Plan Funeral Home**

1 : 100

200-A

Mark	Type	Height	Width	Area
1	18.21	1800	2100	3.78 m <sup>2</sup>
2	18.21	1800	2100	3.78 m <sup>2</sup>
3	06.06	600	610	0.37 m <sup>2</sup>
4	06.12	600	1210	0.73 m <sup>2</sup>
5	06.12	600	1210	0.73 m <sup>2</sup>
6	06.12	600	1210	0.73 m <sup>2</sup>
7	06.12	600	1210	0.73 m <sup>2</sup>
8	06.12	600	1210	0.73 m <sup>2</sup>
9	18.24	1800	2410	4.34 m <sup>2</sup>
10	18.24	1800	2410	4.34 m <sup>2</sup>
11	18.24	1800	2410	4.34 m <sup>2</sup>
12	09.12	900	1210	1.09 m <sup>2</sup>
13	09.12	900	1210	1.09 m <sup>2</sup>

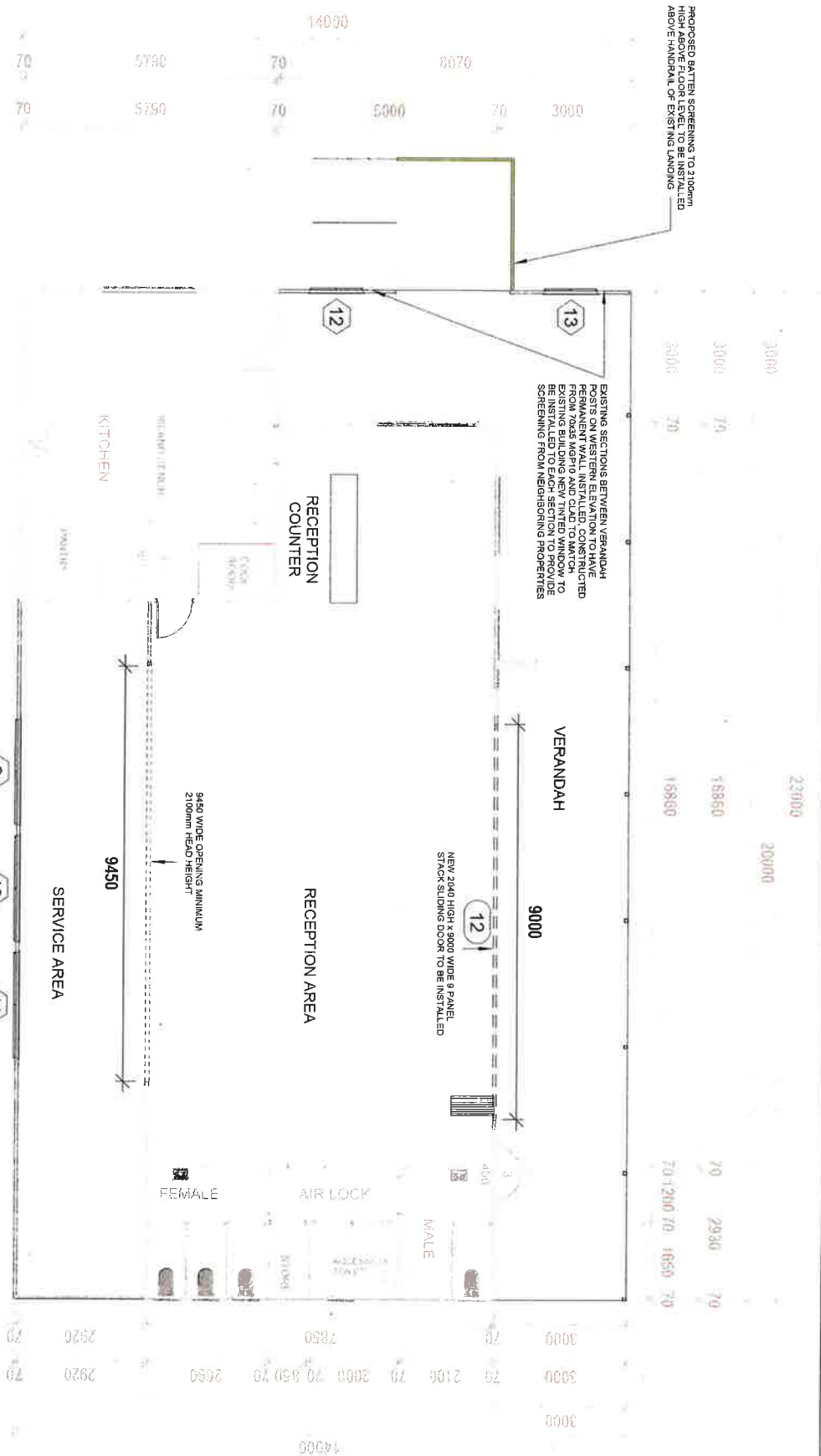


# NORTH



PROPOSED BATTEN SCREENING TO 3100mm  
HIGH ABOVE FLOOR LEVEL TO BE INSTALLED  
ABOVE HANDRAIL OF EXISTING LANDING

EXISTING SECTIONS BETWEEN VERANDAH  
POSTS ON WESTERN ELEVATION TO HAVE  
PERMANENT WALL INSTALLED. CONSTRUCTED  
TO MATCH EXISTING BUILDING. EXISTING  
BUILDING NEW TINTED WINDOW TO  
BE INSTALLED TO EACH SECTION TO PROVIDE  
SCREENING FROM NEIGHBORING PROPERTIES



**B Floor Plan Existing Cafe To Chapel**  
1:100



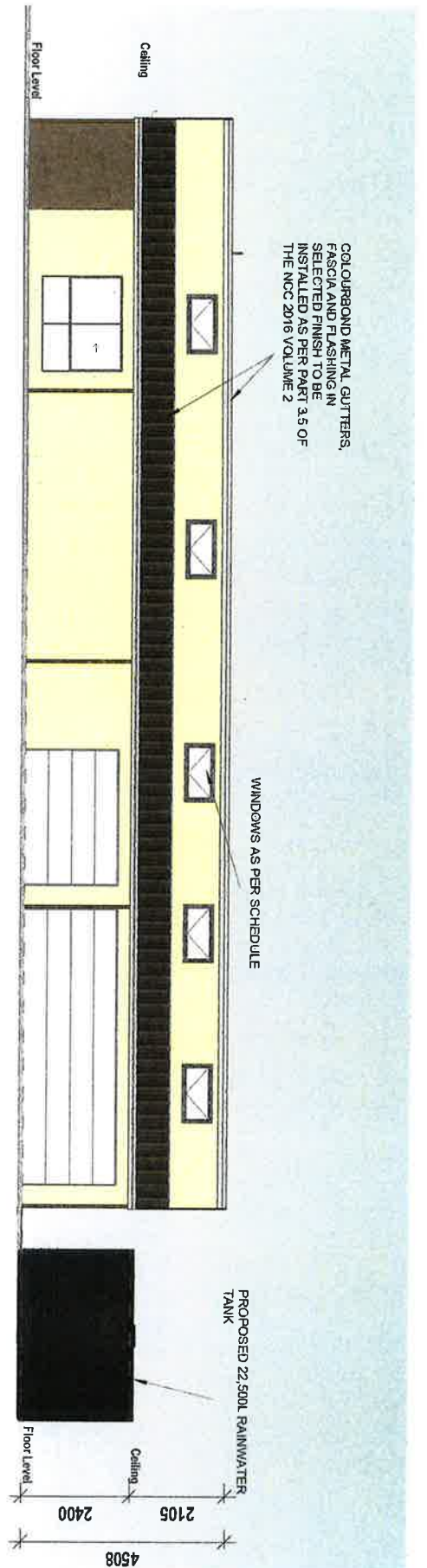
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~ 2D & 3D Drafting ~ Basic Certificates  
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Bachelor Building Design

Revision	Description	Date	Issued by
1	Final Design	03/09/2018	CG
2	Final Design	03/09/2018	CG
3	Final Design	03/09/2018	CG
4	Final Design	03/09/2018	CG
5	Final Design	03/09/2018	CG

Proposed Funeral Home  
60 Polworth Street  
TENTERFIELD  
Tenterfield Family Funerals

**FLOOR PLAN EXISTING CAFE TO CHAPEL**  
project number 18-049  
date 03/09/2018  
drawn by CG  
checked by CG  
Scale 1:100





1  
1 : 100  
**ELEVATION NORTH**



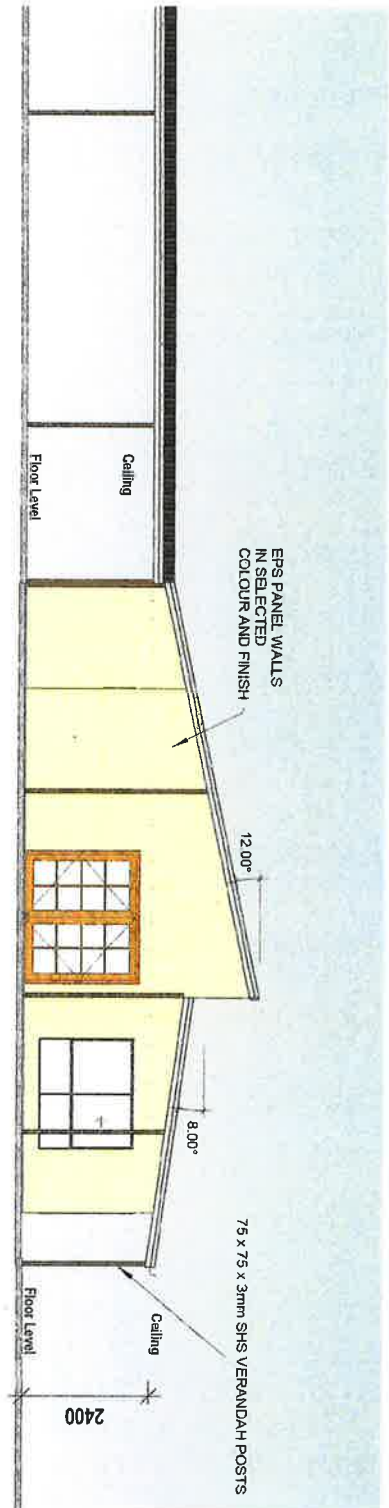
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1 : 100  
**ELEVATION NORTH WITH LANDSCAPING**

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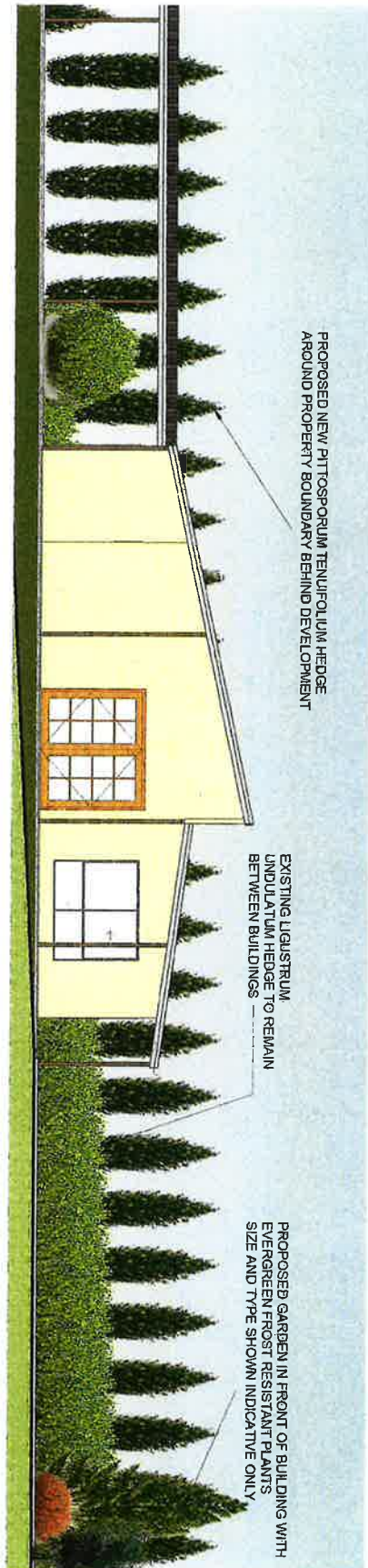
Revision	Description	Date	Issued By
1	Revision 5	13/11/2018	CG
2	Revision 4	07/11/2018	CG
3	Revision Draft	31/10/2018	CG
4	DA Lodgement	27/09/2018	CG
5	Private Design	03/09/2018	CG

Proposed Funeral Home  
60 Polworth Street  
TENTERFIELD  
Tenterfield Family Funerals

<b>ELEVATIONS NORTH</b>	
project number	18-049
date	03/09/2018
drawn by	CG
checked by	CG
Scale	1 : 100
5 200-A	



1  
1 : 100  
**ELEVATION EAST**



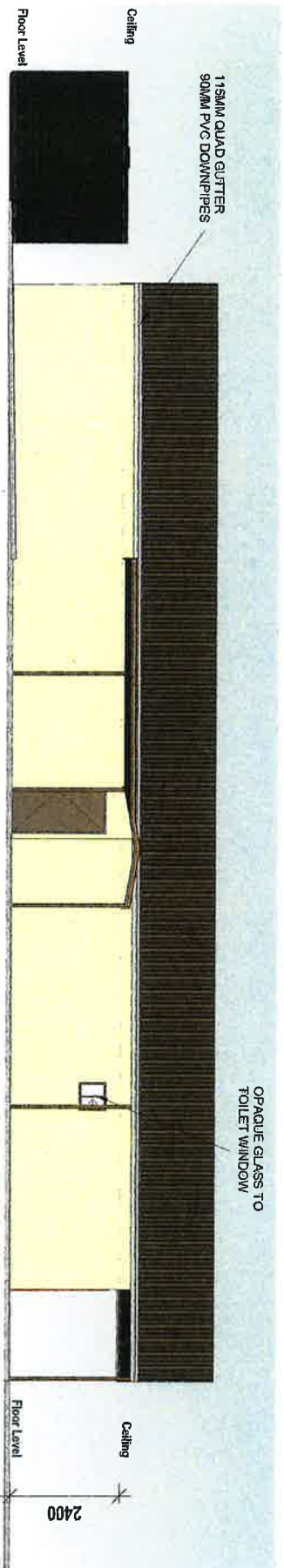
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**ELEVATION EAST WITH LANDSCAPING**

Revision	1	2	3	4	5
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Revision 4					
Revision 3					
Revision 2					
Revision 1					
Drawn by	CG	CG	CG	CG	CG
Checked by	CG	CG	CG	CG	CG
Date	03/09/2018	03/09/2018	03/09/2018	03/09/2018	03/09/2018

Proposed Funeral Home  
60 Polworth Street  
TENTERFIELD  
Tenterfield Family Funerals

ELEVATIONS EAST	
project number	18-049
date	03/09/2018
drawn by	CG
checked by	CG
Scale	1 : 100





1  
1 : 100  
**ELEVATION SOUTH**



2  
1 : 100  
**ELEVATION SOUTH WITH LANDSCAPING**

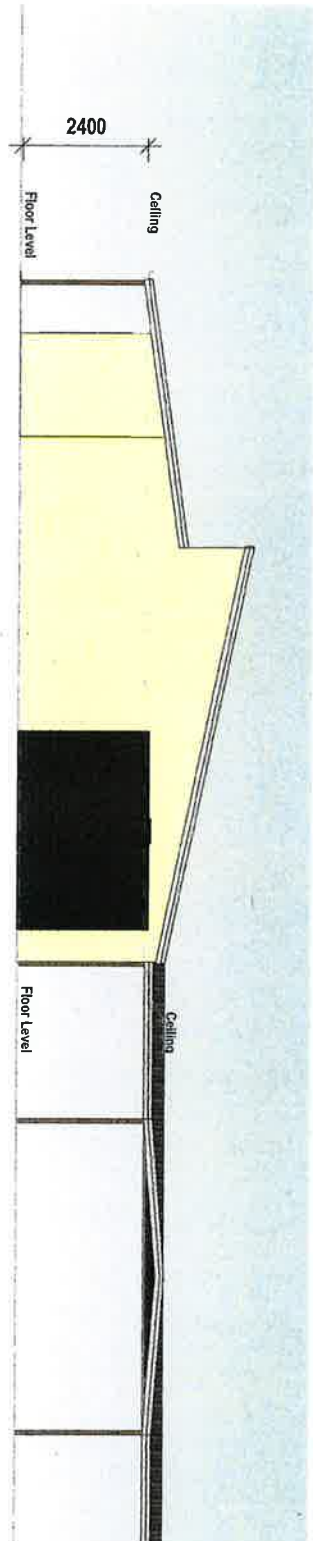
Revision	Description	Date	Issued By
1	Preliminary Design	02/09/2018	CG
2	DKL Comment	27/09/2018	CG
3	Thruout Draft	31/10/2018	CG
4	Revision 4	07/11/2018	CG
5	Revision 5	13/11/2018	CG

Proposed Funeral Home  
60 Polworth Street  
TENTERFIELD  
Tenterfield Family Funerals

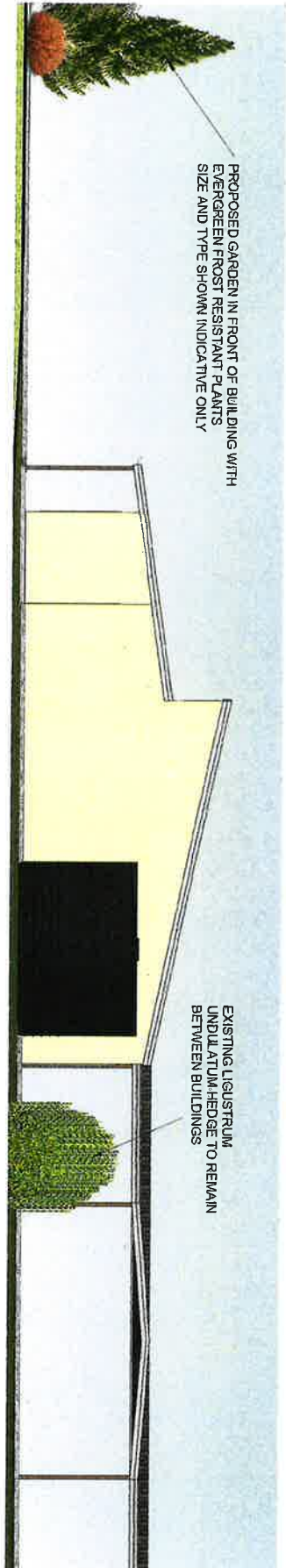
**ELEVATIONS SOUTH**

project number	18-049
date	03/09/2018
drawn by	CG
checked by	
Scale	1 : 100

5 200-C



1  
ELEVATION WEST  
1 : 100



2  
ELEVATION WEST WITH LANDSCAPING  
1 : 100

Revision	Description	Date	Issued by
5	Revision 5	13/11/2018	CG
4	Revision 4	07/11/2018	CG
3	Trustees Draft	31/10/2018	CG
2	DA Lodgement	27/09/2018	CG
1	Preliminary Design	03/09/2018	CG

Proposed Funeral Home  
60 Polworth Street  
TENTERFIELD  
Tenterfield Family Funerals

## ELEVATIONS WEST

project number	18-049
date	03/09/2018
drawn by	CG
checked by	CG
Scale	1 : 100



NEW 2040 HIGH x 9000 WIDE 9  
PANEL STACK SLIDING DOOR  
TO BE INSTALLED

PROPOSED TIMBER BATTEN  
SCREEN ABOVE EXISTING  
HANDRAIL MINIMUM HEIGHT  
2100mm ABOVE FLOOR LEVEL

## ELEVATION NORTH EXISTING BUILDING

2  
1 : 100



PROPOSED HEDGE IN FRONT OF  
STAIRS AND LANDING WITH  
EVERGREEN FROST RESISTANT  
PLANTS SIZE AND TYPE SHOWN  
INDICATIVE ONLY

## ELEVATION NORTH EXISTING BUILDING WITH LANDSCAPING

1  
1 : 100



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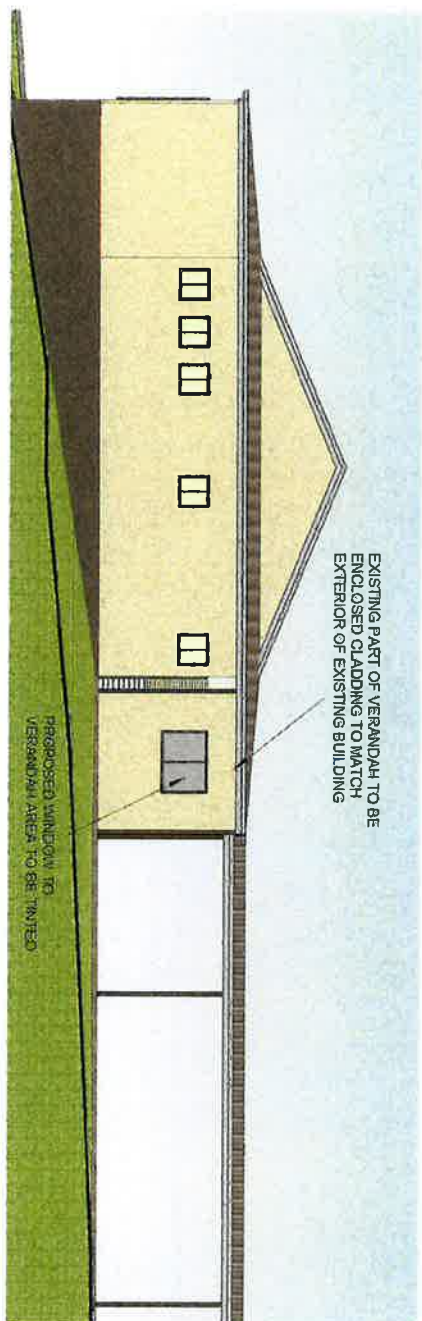
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5	Revision 5	13/11/2018	CG
4	Revision 4	07/11/2018	CG
3	Timber Detail	31/10/2018	CG
2	DA Lodgement	27/09/2018	CG
1	Preliminary Design	03/09/2018	CG

Proposed Funeral Home  
60 Polworth Street  
TENTERFIELD  
Tenterfield Family Funerals

## ELEVATIONS EXISTING BUILDING NORTH

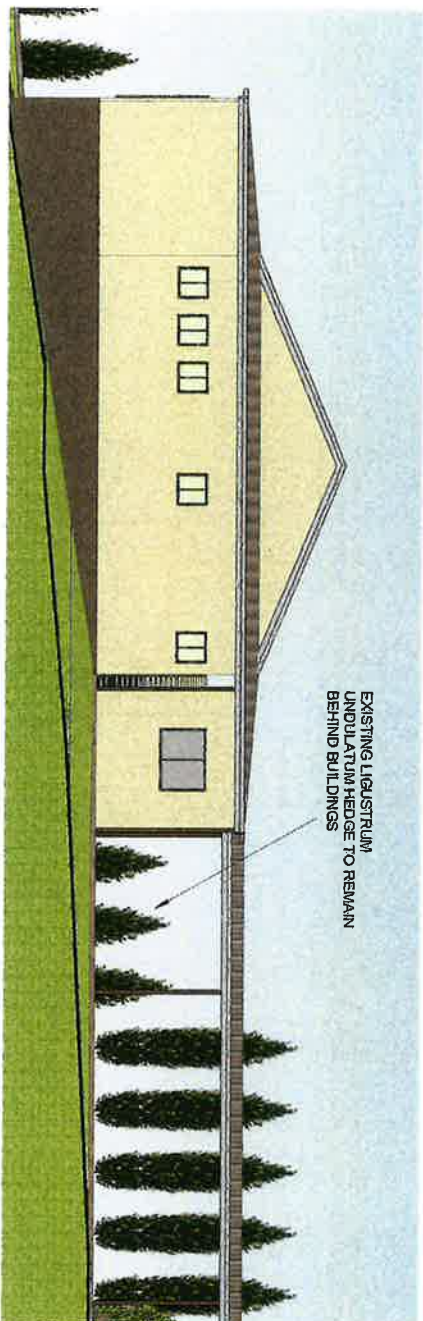
project number 18-049  
date 03/09/2018  
drawn by CG  
checked by CG  
Scale 1 : 100

5 201-A



**ELEVATION EAST EXISTING BUILDING**

1 : 100



**ELEVATION EAST EXISTING BUILDING WITH LANDSCAPING**

1 : 100



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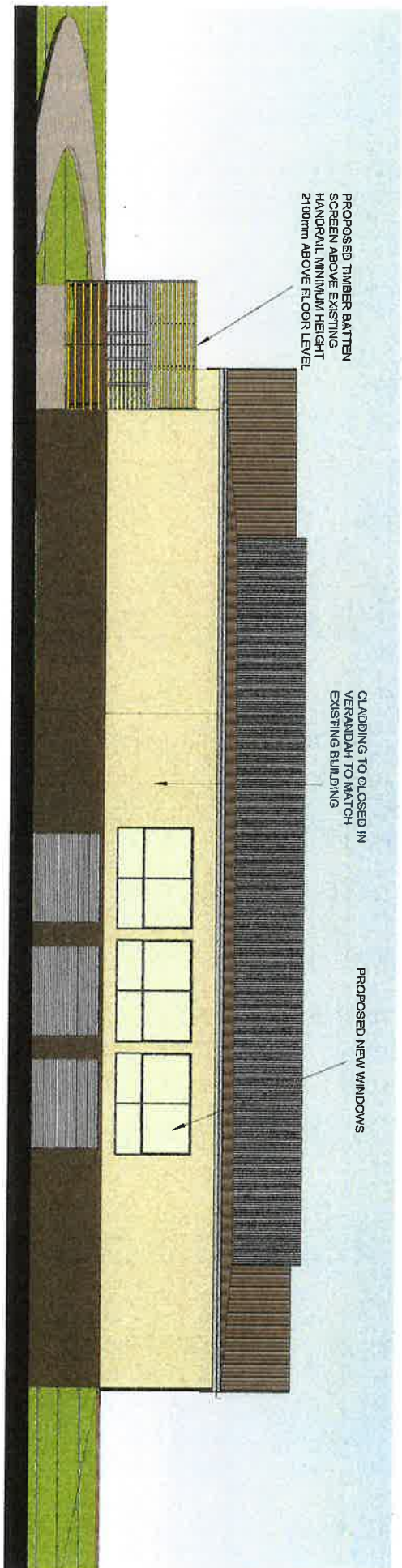
Revision	Description	Date	Issued By
5	Revision 5	13/11/2018	CG
4	Revision 4	07/11/2018	CG
3	Revised Draft	31/10/2018	CG
2	DA (concept)	27/09/2018	CG
1	Preliminary Design	03/09/2018	CG

Proposed Funeral Home  
60 Polworth Street  
TENTERFIELD  
Tenterfield Family Funerals

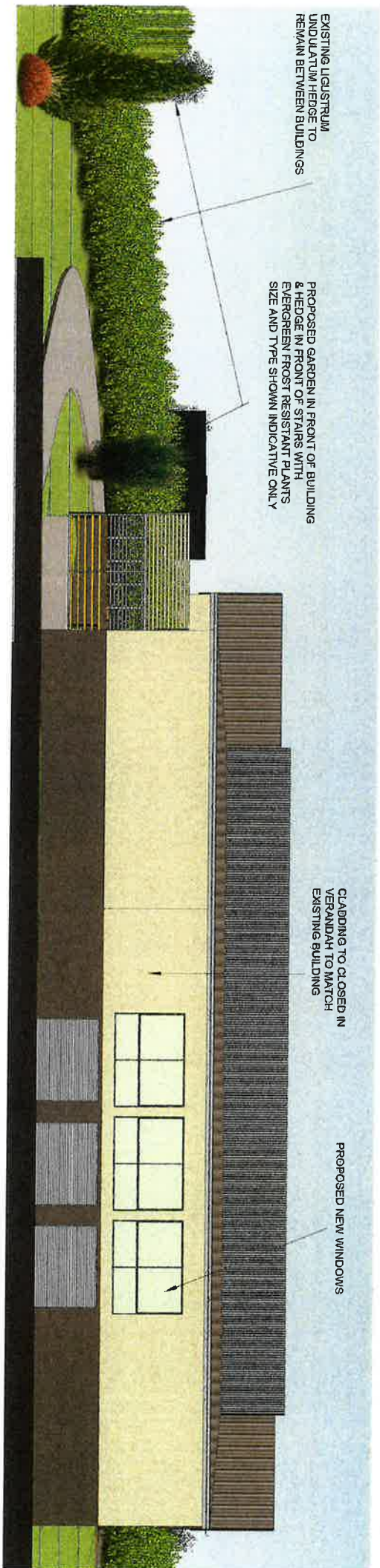
**ELEVATIONS EXISTING BUILDING  
EAST**

project number	18-049
date	03/09/2018
drawn by	CG
checked by	CG
Scale	1 : 100





1  
ELEVATION SOUTH EXISTING BUILDING  
1 : 100



2  
ELEVATION SOUTH EXISTING BUILDING WITH LANDSCAPING  
1 : 100



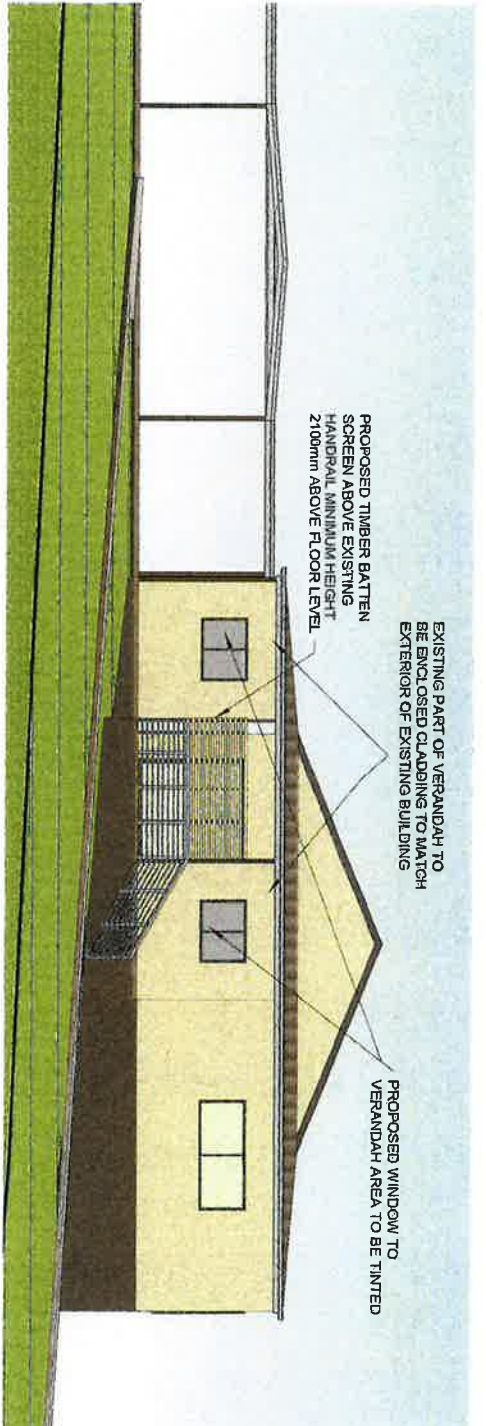
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Bachelor Building Design

Revision	By	Date	Issued By
1	CG	03/09/2018	CG
2	CG	03/09/2018	CG
3	CG	03/09/2018	CG
4	CG	03/09/2018	CG
5	CG	03/09/2018	CG

Proposed Funeral Home  
60 Polworth Street  
TENTERFIELD  
Tenterfield Family Funerals

ELEVATIONS EXISTING BUILDING SOUTH	
project number	18-049
date	03/09/2018
drawn by	CG
checked by	CG
Checker	Scale
5	201-C





**ELEVATION WEST EXISTING BUILDING**

1:100



**ELEVATION WEST EXISTING BUILDING WITH LANDSCAPING**

1:100

Revision	Description	Date	Issued By
1	Preliminary Design	03/09/2018	CG
2	DA Lodgement	27/09/2018	CG
3	Trussing Draft	31/10/2018	CG
4	Revision 4	07/11/2018	CG
5	Revision 5	13/11/2018	CG

Proposed Funeral Home  
60 Polworth Street  
TENTERFIELD  
Tenterfield Family Funerals

ELEVATIONS EXISTING BUILDING WEST	
project number	18-049
date	03/09/2018
drawn by	Author
checked by	Checker
Scale	1:100

27<sup>th</sup> September 2018

**TO WHOM IT MAY CONCERN**

**Re: Supporting Information for Application for Development of 60 Polworth Street,  
Tenterfield**

Following please find additional information in regards the attached development application for 60 Polworth Street Tenterfield.

The original intention of the partners behind the setting up of Tenterfield Family Funerals, was to raise the standard of funeral care provided in Tenterfield through providing the opportunity to secure a higher level of service, dignity and professionalism in families' time of need and offer Tenterfield options that were not being made available and were being sought elsewhere (out of town).

We believe that we have met our original intention and Tenterfield now has choices and no reason to source services outside of Tenterfield.

Our business has been operating from modified rented premises located in the Central Business District at 190 Rouse Street, beside the busiest carpark in Tenterfield – Coles carpark and completely surrounded both other businesses and residents for 3 years and we are unaware of a single complaint in that period of time.

The opportunity to setup a custom facility and increase our current range of services has been forthcoming in the acquisition of what has previously been known as "Kraze Maze & Café". We firmly believe that the change in use of this site will be a downgrade from its past use as a licensed facility and will have very little impact on the surrounding neighbourhood. The office will only be open on demand and the Chapel use would normally be mid-morning or early afternoon.

Our plans for this site will be to construct a new Funeral Home similar to our current facility that we have operated from and convert the current restaurant into a chapel to offer a custom, other than church facility. The only change from our current facility is a mortuary room rather than the previous preparation room.

Tenterfield Family Funerals staff are not trained in extended body preparation and are not seeking to perform extended body preparation themselves, however a mobile service is available whereby a fully qualified embalmer can attend any registered facility and perform the necessary procedure.

By way of background to the above, in the past 3 years we have required this service once so that we could repatriate a deceased to his home country of New Zealand. The repatriation of a deceased requires the body to be embalmed prior to being transported, for this example the embalming took place in Lismore.

(2)

The proposed building will have both front and rear access which will allow for the necessary separations and discreetness to conduct the business. From the street the building will look no different to any other modern office building, the whole site will be securely fenced with keyed and remote access, the only area visible for someone looking through the front window, will be the reception area and the existing hedges and gardens located along the boundaries will be maintained to offer both privacy and a visual block for and from neighbours.

The selection room and visitation room will both be completely screened from view by internal walls. The mortuary and deceased storage area will be located in the rear of the building with no public access, complete privacy and no possibility of public exposure.

The attached plan shows that we propose 2 parts to the building with clear separation for each. The front area will be divided into a reception area, office, display room and visitation room and the rear area will be the transfer bay, vehicle and general storage, mortuary and deceased storage.

1. The reception / arrangement area is self-explanatory, the selection area will be principally for the display of coffins and caskets and may include floral or other funeral related items. The visitation room will be a quiet area where families can spend time with their deceased loved one. The above is the only public access area.
2. Mortuary / preparation room and cool / storage room; this will be where deceased refrigerated storage will be installed along with facilities to dress both coffins and deceased persons. The room will be constructed of 50mm fridge panel on epoxy sealed and covered concrete floor, slop hopper, wash basin and mobile handling facilities.
3. Garage and storage area; this area will be used to unload and load deceased persons with direct access to the mortuary / preparation and storage room. This area is out of public view and with the closing of the panel lift doors will provide complete privacy. This area will also be used to store the hearse, transfer vehicles and all other funeral related items such as the lowering device and grave side dressings.

The existing building currently has disabled access and facilities which will be linked to the new building via a covered walkway. The new building will be all one level without steps and should access be required to the existing facilities, they will be accessed via the front and southern covered verandah to the covered walkway.

The existing building provides off street carparking which we will be enlarging along with a new 3 bay carpark on the northern side of the new building for visitors to the funeral home, which is only 1 family at any one time and an area of 15 metres x 7 metres also on the northern side of this same building will be for staff parking and coffin deliveries. The current number of staffs is 4 and coffin deliveries take place once a fortnight.



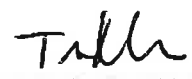
Tenterfield Family Funerals are committed to the ongoing improvement of the funeral industry and offering Tenterfield a service that is second to none. We have shown our commitment to providing both a first-class service along with modern and impeccable facilities and see this next step as a huge commitment to the Tenterfield community and an addition to available services in Tenterfield, not replicating or reinventing a service that is already available.

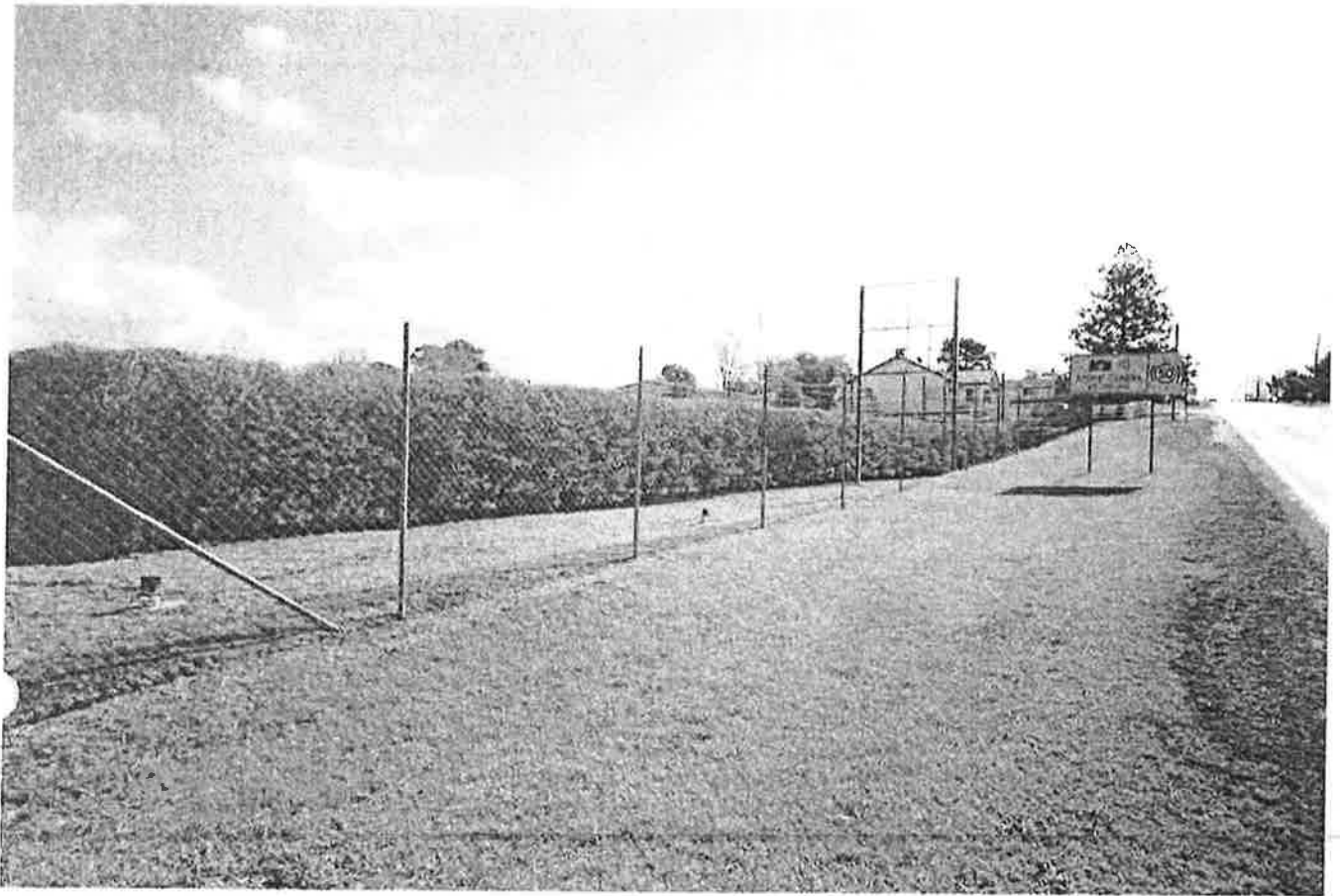
Yours faithfully,

**PER.....**  
Glen Curry

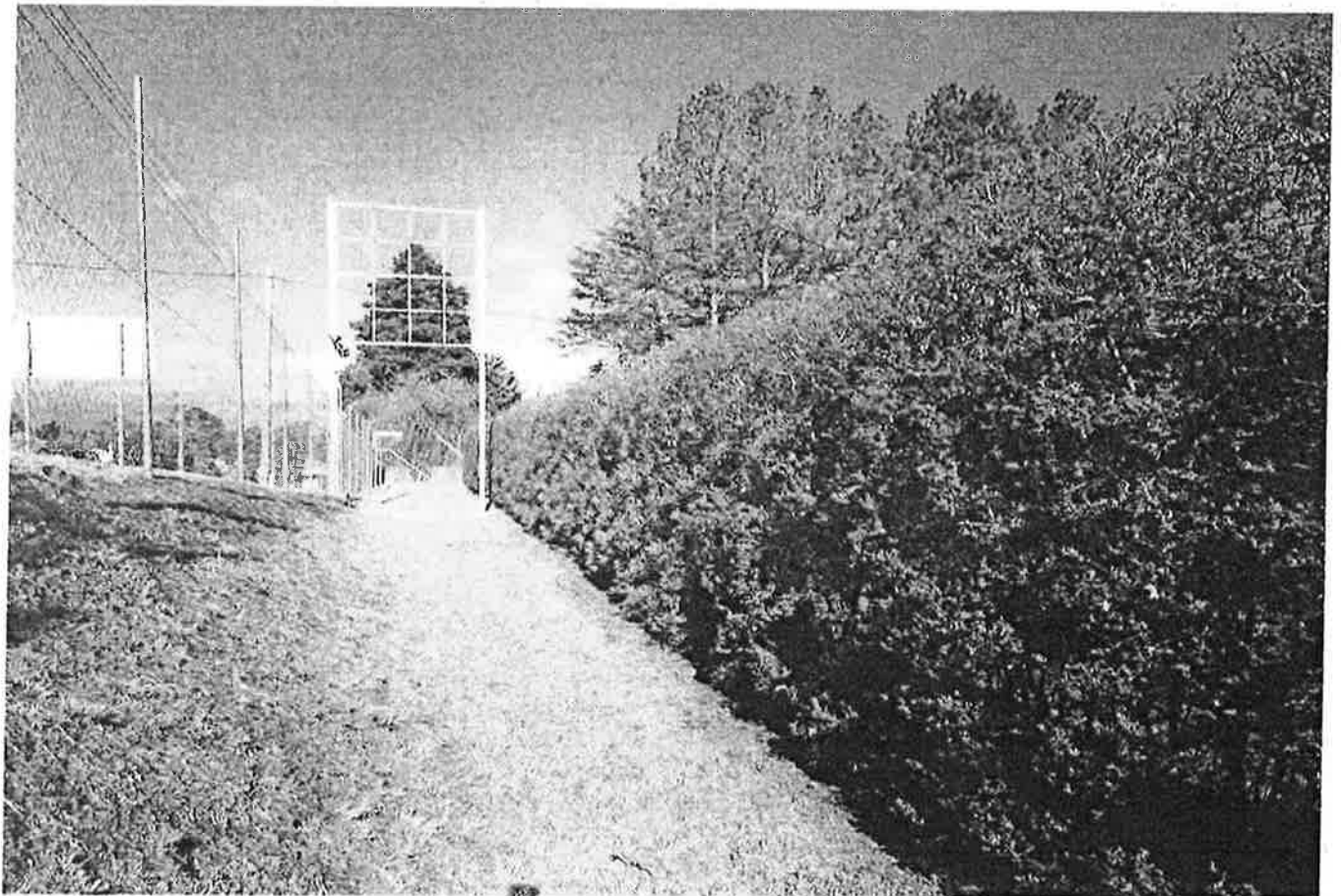


**.....**  
Troy Hillier.

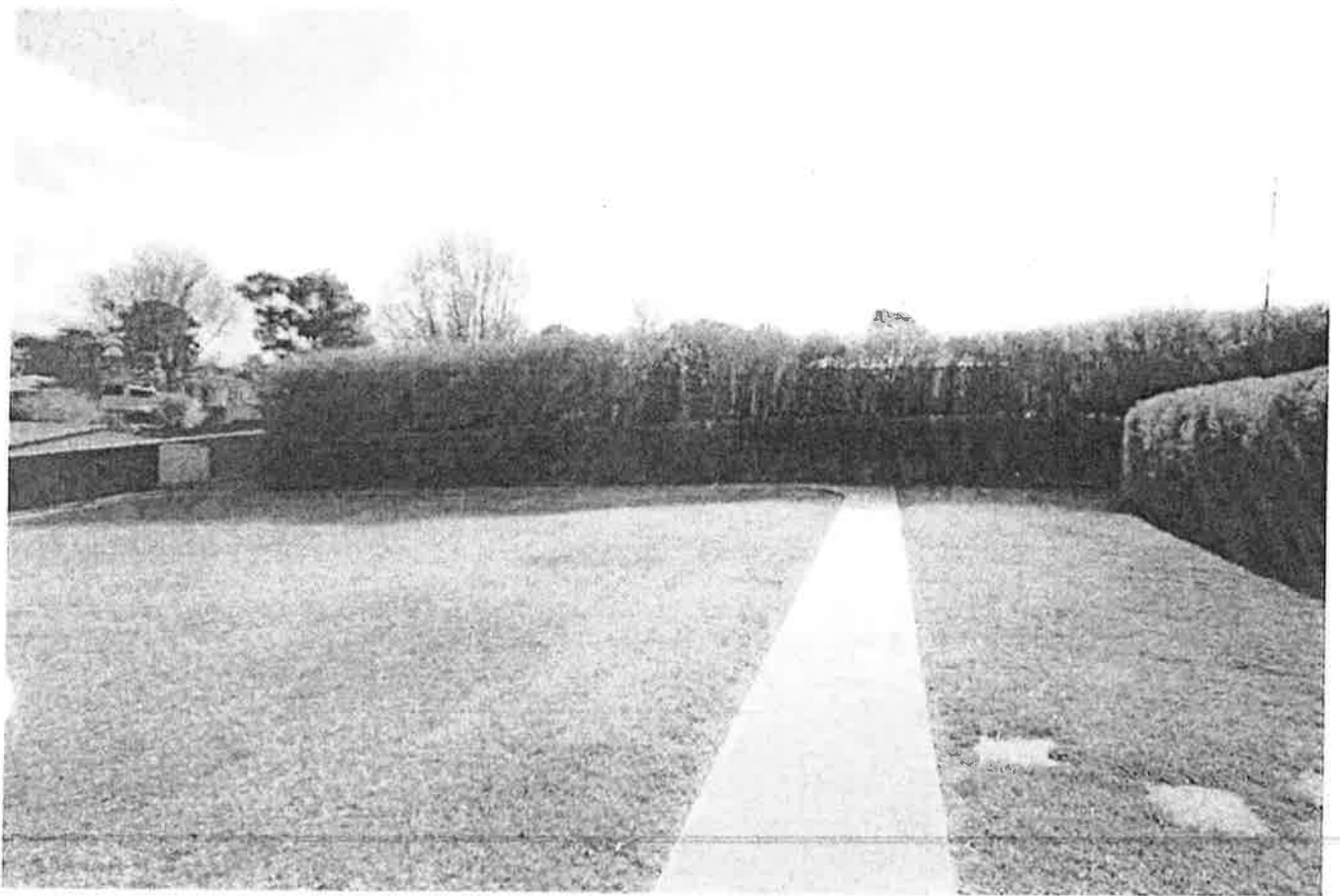




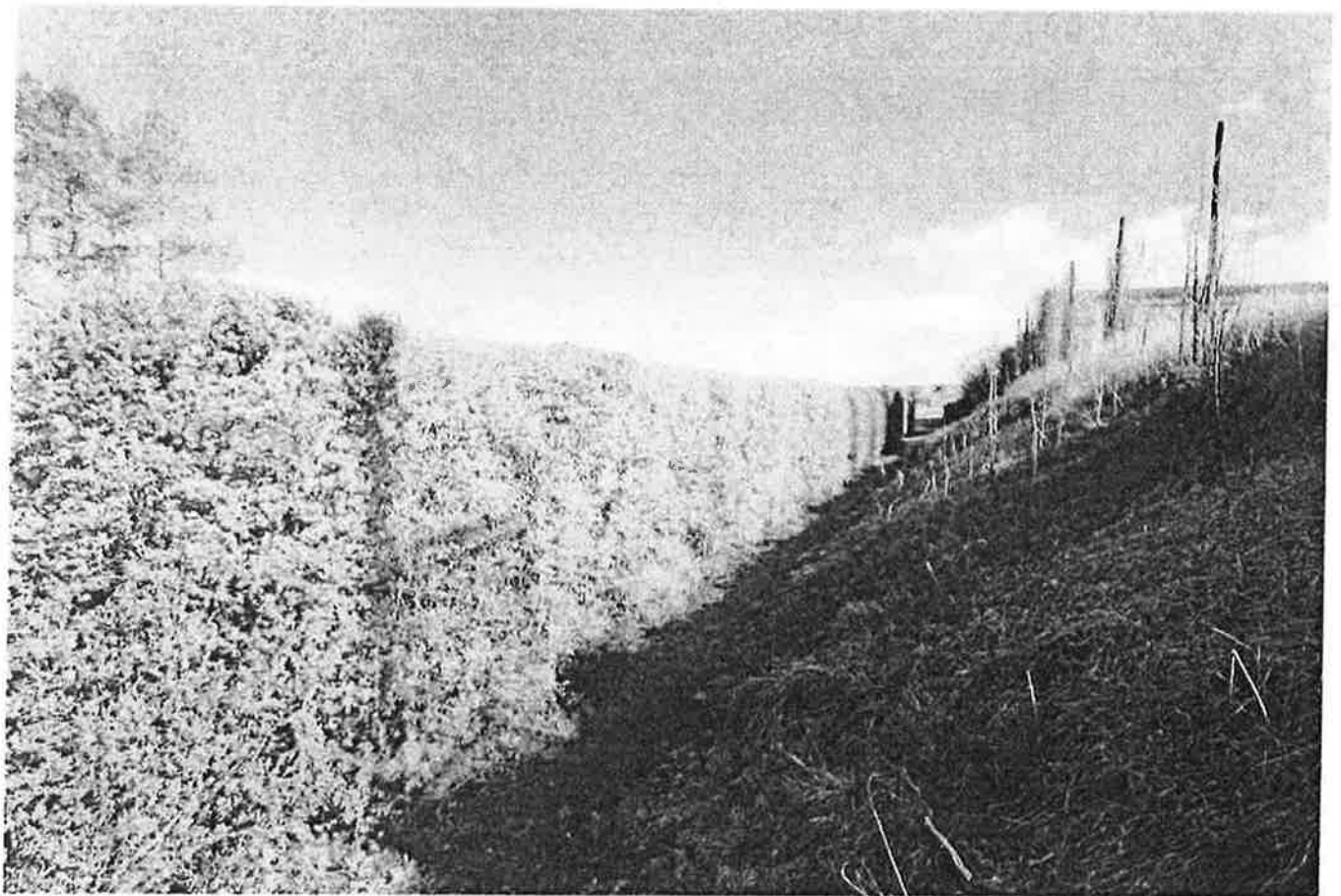
Northern Boundary (Cowper Street)



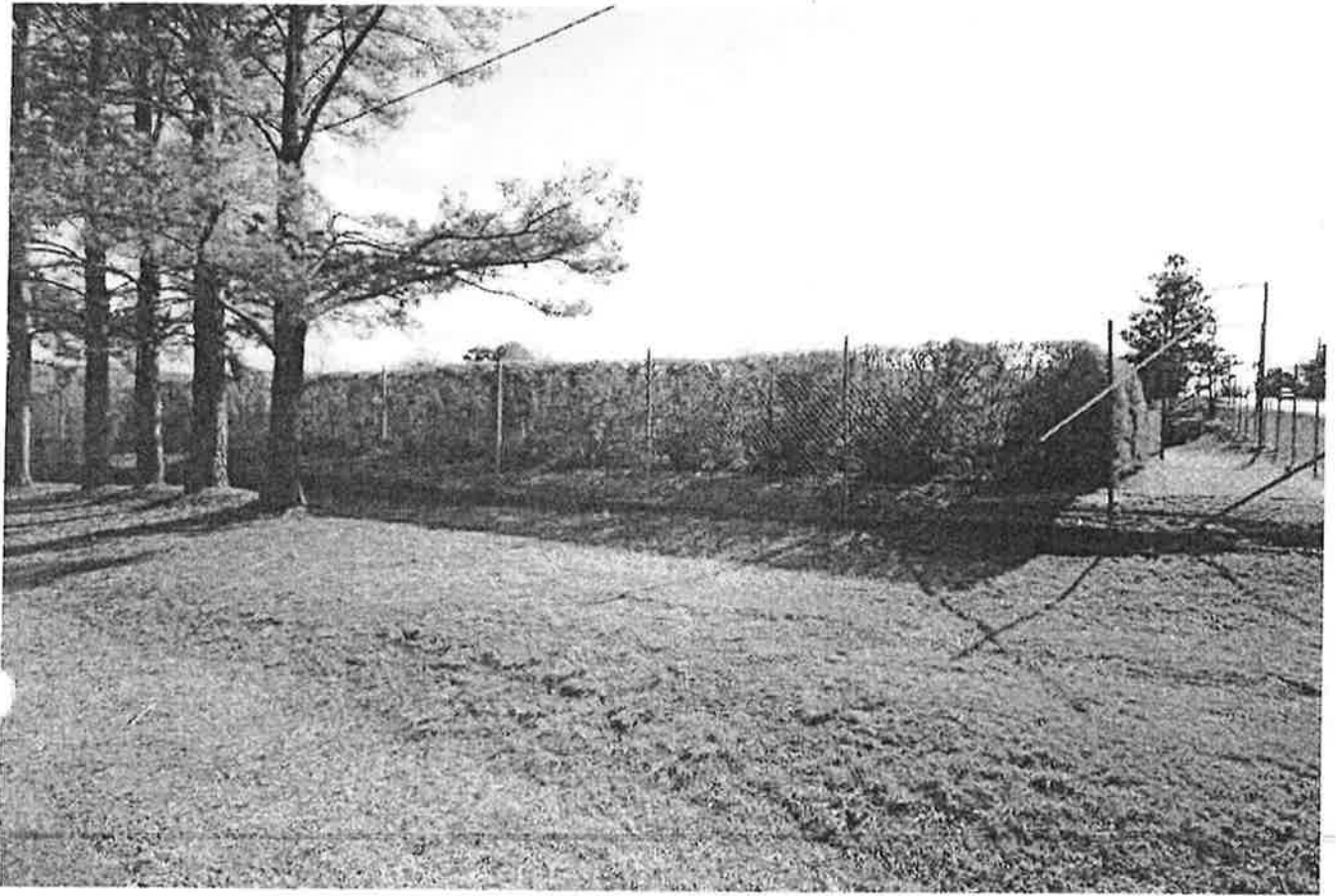
Northern Boundary (Cowper Street)



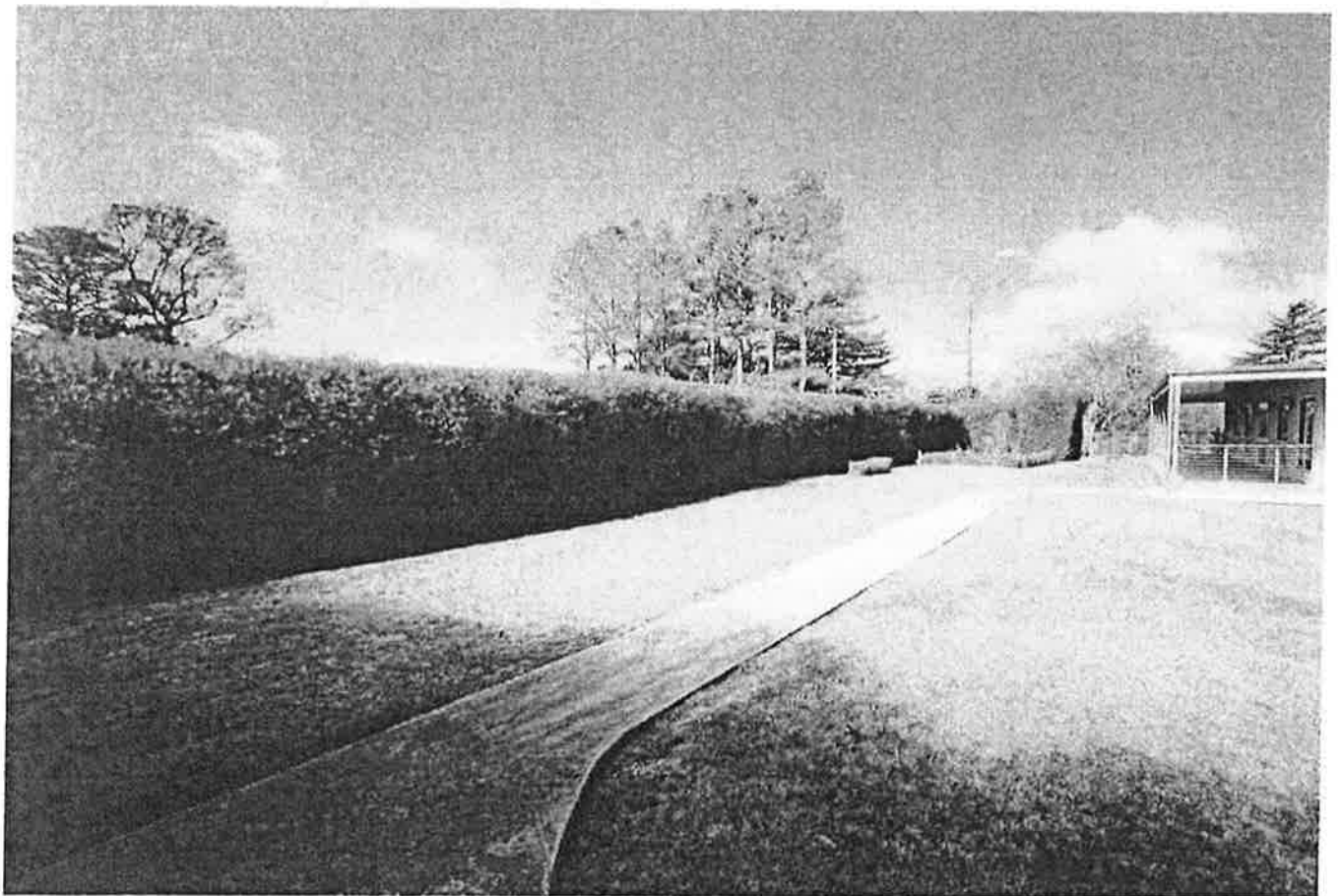
Western Boundary (southern end)



Western Boundary (northern end)

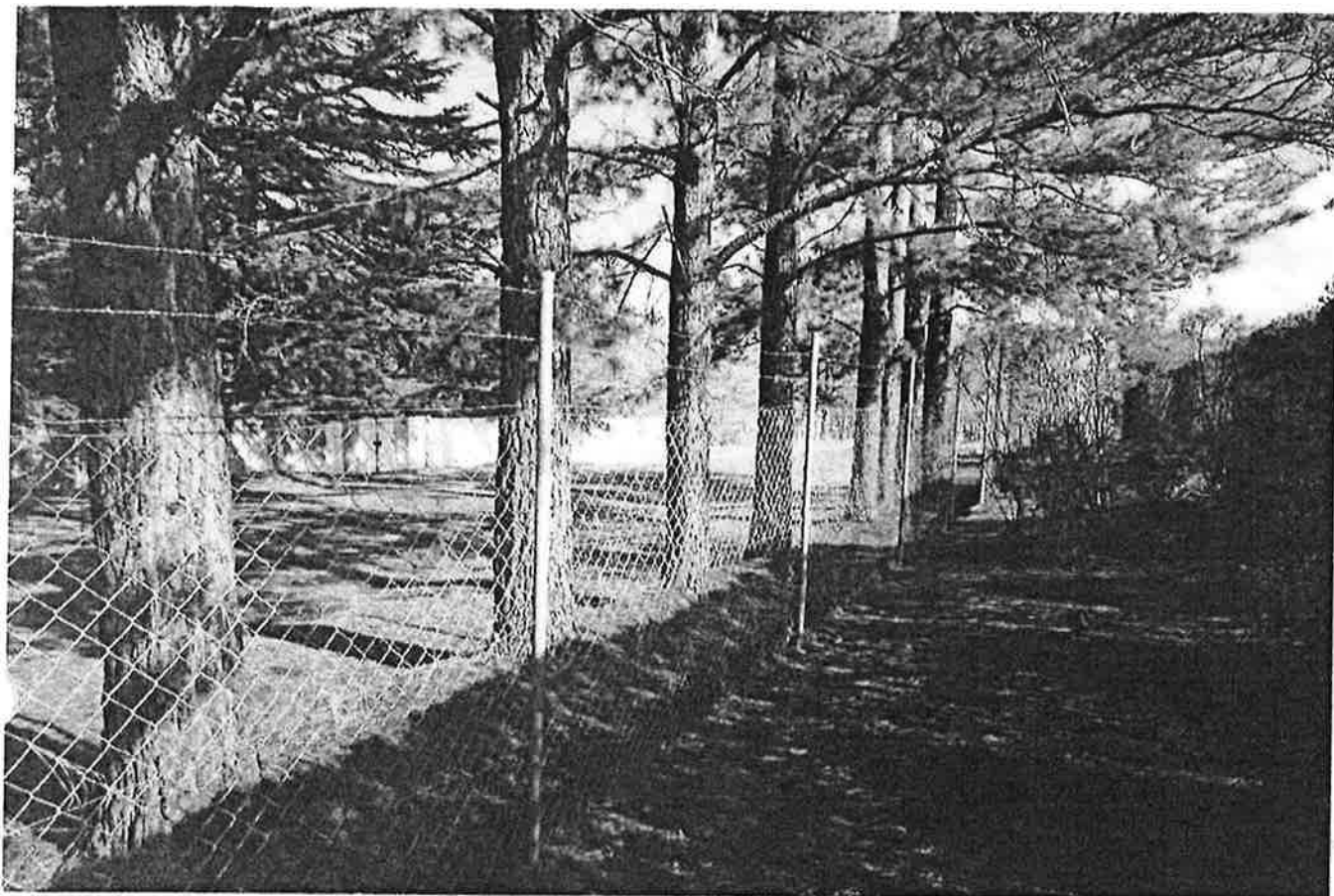


Eastern Side (northern end)



Screening between Chapel & Funeral Home





Trees to be removed from Polworth Street footpath

**DA 2018.087 – Answers to questions following submissions received.**

Answers to points of clarification in Tamia Davidson's email dated 25<sup>th</sup> October 2018

- **Estimated usage of facility;**
  - **Funeral numbers ?**

Actual Funerals conducted by Tenterfield Family Funerals

	<u>Church</u>	<u>Graveside</u>	<u>Other</u>	<u>Direct</u>	<u>Total</u>
2016	14	7	1	5	27
2017	14	5	3	4	26
2018	7	7	2	3	19 (29/10/18)
Totals	35 (49%)	19 (26%)	6 (8%)	12 (17%)	72

(Other includes RSL Pavilion, Funeral Home & Own Residence)  
(Direct – Cremation without a service)

- **Location of cool room compressor/motor and any air conditioning units and potential for noise impacts on neighbouring properties?**

Cool room compressor / motor will be located inside the building, on top of the cool room. Air conditioning unit to be located on the eastern side of the garage access, at the rear of the visitation room.

*New Building:* There will be no noise impact on surrounding properties with the internal location of the cool room motor and the air conditioning unit will be the same as any of the surrounding properties that have air conditioning themselves. The use of the air conditioning unit will be minimal and for very limited times – only when meeting with families (if required).

*Existing Building:* No change to existing facilities and locations with far less use than previous occupants.

- **Is the chapel intended to be dual use? ie. For wakes etc**

Yes, families will be able to continue the celebration of their loved one's life with a "non-alcoholic" post funeral function where they can share some stories and laughs.

- **Details on the type of body preparation to be undertaken – 'mobile service' ?– this may necessitate trade waste requirements – 'slop hopper'?**

As per our supporting information provided with the Development Application:  
*Tenterfield Family Funerals staff are not trained in extended body preparation and are not seeking to perform extended body preparation themselves, however a mobile service is available whereby a fully qualified embalmer can attend any registered facility and perform the necessary procedure.*

By installing a pedestal (known in the funeral and hospital / care industries as a "slophopper") would allow a "mobile" embalmer to attend the mortuary and perform an embalming.

As advised, in the previous three years we have only had to embalm one of our deceased so that he could be repatriated to New Zealand. This was completed in a mortuary in Lismore by a Licensed Mobile embalmer.

Embalming involves the removal of bodily fluids from the body with a maximum of 10 litres of fluid being produced from a deceased. There are no solids, blood is diluted to a rate of 10 parts water to 1 part blood and the fluids are diluted to 20 parts water to 1 part fluid. These are further diluted on the embalming table (which has water running across it) before being disposed of in the pedestal.

With the extremely limited requirement for embalming and the very small amount of fluid entering the waste system when one is completed, trade waste would not be required.

Other than the above, all body preparation will remain unchanged and as conducted at our current site in Rouse Street.

- **Stormwater management plan – to be identified on site plan – for building and including stormwater from car park area – details of proposed surface finish of new car park (bitumen or equivalent)**

Calvin Grogan to provide storm water sumps and drainage on plan

*Funeral home car park:* Cement

*Chapel car park:* Bitumen

- **Accessible car park to be shown for both car parking areas**

Calvin Grogan to provide on plan

- **The existing accessible walkway from the southern car park space to the proposed chapel is to be indicated on plan – the path as indicated on the plans is non-compliant**

Calvin to redraw existing path as well as the new proposed access on plan

- **Covered walkway between the two buildings – surface, grade & width of walkway to be identified.**

Level cement path, 2.4 metres wide

- **WC door in new building cannot open directly on to a kitchen unless screened – consider reconfiguring or rotating door to comply**

Calvin Grogan to rename kitchen to “powder room or like”

- **Hand basin to be shown in Prep mortuary room on floor plan**

Calvin Grogan

- **Funeral Home hallway width leading from doorway 9 should be a minimum of 1500mm wide for accessibility throughout and within the building**

This hallway and door are not for public access, this is staff only access to transfer a coffin from the Funeral home to the Chapel

- **Details of proposed roof material and colours for roof and walls**

Corrugated iron roof – charcoal in colour  
Beige walls  
(same colours as existing building)

- **Consideration of the following is warranted;**
  - **an overhang on the western elevation of the Funeral Home building**

Calvin Grogan looking at this

- **construction of a compliant accessible WC in proposed funeral home – this may be advantageous in the event of future sale/separation of the 2 buildings**

TFF will discuss but do not believe this is warranted as each building will be as important as the other and joined. There are no intentions to separate.

- **identification of overflow car parking for Funeral Home and Chapel on site.**

Calvin Grogan to provide on plan

- **discussion in relation to proposed screening methods in addition to the existing hedge, which will have limited effect on screening the development – eg. Additional landscaping or structural screening**

TFF to plant trees etc to break the northern side appearance

- **discussion in terms of options of reducing the size of the Polworth Street existing sign board given that the proposed business is not seeking to attract customers as was the case with the restaurant use.**

TFF will provide a copy of the design when completed of the large Cowper Street sign and provide designs of the small directional signs of "Funeral Home" and "Chapel"



October 29, 2018

The National Funeral Directors Association of Australia wishes to support the application of Tenterfield Family Funerals to establish modern community facilities in Tenterfield.

The Hillier family have been long term suppliers of hearse conversions to members of the NFDA and are recognised nationally for their high standards of professionalism and exceptional efforts to provide the best service they can for their community.

Traditionally funeral services are run in the churches of the local community, but in an increasingly secular society with ever increasing variety of ethnic funeral requirements it is vital that new community facilities be made available in the areas where people live and work.

The NFDA thinks this facility would be an important contribution to the community.

Yours Faithfully



Nigel Davies

JP, BA, MA, GCBusAd,

Vice President of the National Funeral Directors Association

## Submission 1

Objection/Questions in relation to the planned proposed development of a Funeral Home at 60 Polworth Street, Tenterfield, 2372, NSW.

Through using the Tenterfield Shire Council Development Control Plan Tenterfield Shire Council (from website) - Adopted: 27 August 2014 (Res No. 308/14) Amended: 22 October 2018 (Res No. 207/18) as a guideline and in discussion and consultation with my family the following objections/questions are raised.

### Concerns and Objections

We believe the following points highlight the fact that the development will have an adverse impact on our home and other areas surrounding the proposed Funeral Home.

#### 1. Notification of Applications (Chapter 2, page 14)

Adjoining landowners will be given notice of an application if, in the opinion of Council, the enjoyment of land adjoining the development may be detrimentally affected by the proposed development.

- We believe it would have a negative impact on real estate values and is an inappropriate fit for the area, which is primarily residential as well as having an Aged Care Hostel and Nursing Home in close proximity. I'm sure those residents see the irony of having a Funeral Home nearby.
- What is the current zoning of the property? Does it need to be changed?
- What was the reason a DA notice was not placed at the site for all public viewing? We believe it is an issue for more than just 'near neighbours' to be allowed to comment on.

#### 2. Water Drainage

To ensure that business and industrial development is served by the necessary physical infrastructure, including reticulated water supply and sewerage and drainage systems (Chapter 5, page 58)

- How will the rainwater be dealt with – no storm water drains in this part of town.
- If rainwater from the new development "overflows" onto the street, what provisions have been made to prevent it from running into our property as we are on the low side of the development.

### 3. Waste Management

On-site facilities (Chapter 5, page 59)

On-site facilities for garbage bin and recycling storage and service meters are to be designed to be physically convenient, visually attractive and require minimal maintenance;

- Garbage and recycling bin storage is not to be located at the street frontage;
- Where collection is not on the street frontage, adequate loading and turning areas for service vehicles is to be provided within the development; and
- Adequate provision is to be made for the storage and handling of solid wastes generated by the development. The storage area is to be enclosed and the material stored is to be screened from public view;
- Provision is to be made for the installation and maintenance of Liquid Trade Waste management facilities where required.

Questions as to the above and waste management were not sufficiently covered in the submission.

- Will there be any noxious odours exhausted from the preparation room?
- How will any clinical and/or bio hazard waste materials be stored and removed?
- If hazardous chemicals are used where will the warning signs be displayed?
- How will wash down water be dealt with in case it is contaminated with chemicals?
- Will they have industrial waste bins located within their grounds? How often will they be emptied?

### 4. Development on land adjoining Residential development (Chapter 5, page 60)

Business or industrial development on land adjoining predominantly residential use should not have a significant adverse impact on the amenity of the residential areas in the vicinity.

- No mention of the number of funerals per year, we realise that this is a difficult area, but most business proposals usually base costs on a projected number of goods, services etc.
- Car parking and loading/unloading areas
  - There are approximately 11 existing car parks in the complex, the plans indicate increasing this number, but they have not given a definitive number for the additional new car parks. As many would agree Tenterfield funerals are well patronised affairs. Our concern is that there will not be enough car spaces and that

the parking overflow could cause a traffic hazard on Polworth Street as well as obstructing our driveway, and the rear access gates to Millrace.

- Hours of operation, the development submission did not indicate hours, only that there would be morning or afternoon funerals.
- The ambience of the area goes from having happy vibes from the restaurant and maze to a sadder tone. Knowing that there is a mortuary near one's home could have an impact on some residents' mental health. Has the impact of the cultural beliefs of the Indigenous community living directly opposite been taken in to account?

#### 5. Security of Building

- Will the building grounds have floodlights on at night as a security measure?
- Is there a backup generator in case of power failure to continue to power the cool/storage room, mortuary?

#### 6. Access and Traffic Generation (Chapter 5, page 61)

The potential of a development to create additional traffic loads on the road network needs to be assessed.

- The rate of traffic generation associated with the proposed development;
- The impact(s) the traffic generated by the development will have on traffic efficiency, amenity, safety, and road pavement life

The type of traffic that may be generated by the development is of concern

- Increased volume of cars and delivery vehicles on Polworth Street. It is a No Through Road that is sealed only about half way down. It is a concern that with the increase in motorists who may not be aware there is no drive through access to Naas Street will get stuck attempting to get through. We are not aware of any signs advising motorists not to drive beyond the bitumen.
- Polworth Street has always been a thoroughfare for pedestrians, many of them young children as well as horse riders. There is no footpath for pedestrians.

- Congestion on main road/highway (Cowper street) of mourners entering and leaving Polworth street. especially from the south with the bend in the main road.
- Polworth Street is not a wide street for heavy two-way traffic, there are no line markings.

#### 7. Signage and Outdoor Advertising (Chapter 8, page 80)

##### Pole & Pylon Signs

Business identification sign – pole and pylon signs also known as freestanding signs, are signs erected on a pole or pylon independent of any building or other structure.

##### Advertising for the Funeral Home

- The advertising for the Kraze Maze was a Pole and Pylon sign. The submission did not indicate how they would advertise the business. As the building will not be viewed from either Cowper Street or Polworth Street how do they intend to advertise their business?

##### Additional concerns

- Access to the Funeral Home is close to the access into our property, as mentioned previously Polworth Street is not very wide.
- Why is it necessary to remove all the pine trees? They were planted by Mrs Meredith over 30 years ago.
- Is kerb and guttering part of the proposal? I do not wish this to occur.
- There appears to be a large area on the development plan that has no buildings, are there any future plans for this area?
- Does the Funeral Home have any plans in the future to install a crematorium?
- The privet hedge has not been well maintained and gets quite scrappy during dry weather, this hedge has now been proposed a privacy screen, it can be seen through from the street. What is proposed for its replacement in case it dies?
- As the building will be taller than the hedge our property will now be overlooked.

## Submission 2

Objection/Questions in relation to the planned proposed development of a Funeral Home at 60 Polworth Street, Tenterfield, 2372, NSW.

We believe the above-mentioned development may have an adverse impact on our home on Naas St and other areas surrounding the proposed Funeral Home.

### Notification of Applications

- We believe it would reduce real estate values in our vicinity. This has happened in other towns and larger urban areas. We also believe it is an inappropriate business for the area, which is primarily residential. There are two Aged Care Hostels in the immediate area.
- What is the current zoning of the property? Does it need to be changed?
- What was the reason that not all Tenterfield residents were able to have a say in the development. It impacts on all.

### Water Drainage

- How will the rainwater be dealt with? There are no storm water drains in this part of town.
- What provisions have been made to prevent water from running from the development into neighbouring properties?
- The toilets used to smell when the Maze was busy, what measures will be taken to ensure this problem has been rectified?

### Waste Management

Questions as to the above and waste management were not sufficiently covered in the submission.

- Will there be any odours from the preparation room?
- How will hazard waste materials be stored and removed?
- And what is a slop hopper?
- If hazardous chemicals are used what signs be displayed?
- How will waste water be dealt with in case it is contaminated with chemicals?
- Will they have industrial waste bins located within their grounds?

### Development on land adjoining Residential development

- No mention of the number of funerals per year.
- Car parking and loading/unloading areas – insufficient car parks will create a traffic hazard on Polworth Street as it is a narrow street.
- Hours of operation, the development submission did not indicate hours.
- A funeral home doesn't create a happy tone in the neighbourhood.

### Security of Building

- Will there be lights at night for security?
  - If there are going to be floodlights what measures will be taken to ensure nearby residents will not be negatively impacted by bright lights?
- 

- Is there a backup generator in case of power failure?
- If there is a backup generator what measures will be taken to ensure nearby residents are not negatively impacted by noise?

### Access and Traffic

The potential of a development to create additional traffic loads on the road network needs to be assessed.

- Increased volume of cars and delivery vehicles on Polworth Street.
- This is a 'No Through Road' that is sealed only about half way down, cars attempting to drive through to Nass St, may get 'stuck in the mud' trying to get through during wet weather. No signs alerting motorists not to go any further.
- Polworth Street has always been used by pedestrians and horse riders.
- Congestion on Cowper St due to entering and leaving Polworth Street, especially from the south.
- Entry onto the highway for a funeral procession could prove hazardous considering the volume of heavy vehicles using the road.

### Signage

- The advertising for the Kraze Maze was a large pole sign. The submission did not indicate how they would advertise the business. How do they intend to advertise their business?
- What impact will these signs have on nearby residents?

### Additional concerns

- Why are all the pine trees being removed? They were planted by Mrs Meredith over 30 years ago.
- Is kerb and guttering part of the proposal?
- Does the Funeral Home have any plans in the future to install a crematorium?
- The privet hedge has not been well maintained. The flowers from the privet hedge can irritate the airways of susceptible people – this hedge is so high on the south-eastern side that it flowers and smells for weeks at a time, as no-one seems to be able to reach it to prune the flowers.
- Polworth Street is very narrow, there is a concern about the number of cars using the street turning around, general congestion for a large funeral.
- There is already a non-denominational chapel in Tenterfield the former Methodist Church.

### **Submission 3**

Firstly, is there any application to construct a Crematorium on the site as part of the current DA or any intent for a for DA application to do so?

Secondly, given the close proximity to both Millrace & Haddington, will the signage be discreet, will the current hedging be allowed to grow to a greater height than current to allow better screening?

Piddington's (a similar establishment in Armidale) has a very discreet front entrance of a well constructed brick wall either side of wrought iron gates that simply have PIDDINGTONS across the top of the gate without any other mention of what business is conducted beyond. TCC Ltd would hope for a similar street view from this development.

Is the current parking sufficient to allow "on site" parking of Service attendees without overflow onto Polesworth Street.

We are hoping that our feedback can be taken into account during the DA approval process so that we do not have to lodge a Forma Objection & we can exist as good neighbours with TFF.



## **Submission 4**

We have received the paperwork for the proposed chapel, funeral home and mortuary/preparation building. We have concerns that this will adversely affect the value of our property. We also note that we purchased this property as our family home, to raise our children, in a quiet residential area.

Also concerning is the 'talk' of the further development of the business ie: Crematorium. Surely this type of business is not suitable for a residential area. Imagine looking out your kitchen window and seeing a funeral in action, explaining to our children to keep it down and be respectful of the grieving family saying their last goodbyes. I for one , do not want to have to explain that death is literally at our doorstep.

We have researched the impact on the value of our property, and as such this indicates that the value of our property could decrease significantly. Given that our future plans involve us selling our home so we can be closer to work, this is going to negatively impact us directly, and significantly.

## Submission 5

I wish to strongly object to the proposal of a funeral home at the back of my residence because when I purchased my land 20 years ago I chose this area to build my home as it was a peaceful and quiet neighbourhood.

Having a business near to my home I think will be disruptive to the peace and quiet of the neighbourhood as there will be many cars coming and going with the business as the car park is virtually at my backfence.

This will also decrease the value of my home.

## **Submission 6**

We are extremely concerned with a number of aspects of the proposed development in our residential area. The concerns relate mostly to the conversion of the current former restaurant into a chapel to be used as a venue for funerals (Wake).

Below is outlined in more detail the concerns we have regarding the impact this development will have. We have also included some conditions we feel must be met for the development to be able to proceed without our full objection to the proposed chapel.

### **Property devaluation**

Our properties have already devaluated even with just the development application. If the development does proceed, potential buyers will be reluctant to buy into our area. With the knowledge of the proposed development any valuation of our properties will be severely affected.

### **Noise impact**

Our primary concern with noise is that of the large number of vehicular traffic that will occupy the site and street during funeral proceedings. This includes the movement of guests and visitors at these events and the possibility of mournful expressions by family or friends of deceased persons. This we would find considerably disturbing to us and our children. We feel this is not a suitable atmosphere for our younger children to be growing up in.

Unlike the previous business on the site 'Kraze Maze & Café' which did often generate noise disturbances, the atmosphere was however positive where people are enjoying themselves. We strongly believe that the funeral services (wake) etc. produce a negative atmosphere for us while these families are mourning or grieving the loss of loved ones.

### **Visible impact**

Our back yards, decks and verandas of our homes including view from our windows and doors overlook the proposed development site. We currently see all cars in the car park and people walking into the existing building via the path that will be used to enter and exit the proposed chapel. After dark vehicle headlights also shine directly on our homes creating a nuisance.

For this reason we would find the movement of vehicular traffic and persons at the site during funeral events to be unsightly and distracting to our daily lives. We feel that these activities would impact on the use and enjoyment of our properties, particularly during the summer months and when inviting guests or entertaining, and particularly so when our children are playing and having fun in our backyards. We do not want our children visually exposed to the sad and sombre atmosphere of bereaved visitors in such close proximity to our homes.

### **Inconvenience to our daily lives**

It should not be forgotten that our activities within our properties during the week and weekend could also impact heavily on their proposed business. This includes parties and entertaining, our children playing in the back yard, the use

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of machinery, lawnmowers and wiper snippers for property maintenance etc. These are but some of the likely sources of possible disturbance to visitors to the chapel.

Out of respect for the families of the deceased we would be placed quite unfairly under considerable pressure for them not to be able to hear or see our children laughing, playing and having fun or any other activities whilst they are saying goodbyes to their loved ones!

It must be made clear that it is certain that our activities will coincide with some if not many funeral events.

Should the development applicants be concerned as to the likely impact our typical daily residential activities will have (both in terms of visibility and noise) to the operation of their proposed business and their clientele, it would be clear that the site is totally unsuitable for the Chapel development. We are disappointed that this proposal has been submitted for development being totally surrounded by residential zones.

As property neighbours within our residential zone we should not be expected or required to alter our behaviour to accommodate the intended business practices now or at any time in the future. On the contrary the proposed business should function in a way to have zero impact on its neighbours.

These concerns are put forward precisely to prevent the applicants filing with council any future complaint of disturbance to their business concerning our above mentioned activities within our properties should the development proceed.

#### **Potential Future expansion**

We are very concerned also to the likelihood of further development and expansion of the business once it is established. This includes the possible addition of a crematorium etc. at the site and the likely pollution, noise and increased traffic this would bring. There are rumours circulating that the site may later include a Crematorium within the development and possibly within the proposed chapel itself. This we would have 100% objection to!

### **Additional concern**

The neighbour notification document issued to us outlining their current business offerings is lacking in important information and does not take into account the expanded services they intend to offer at the new development.

No information has been provided to us as to the frequency of use for the chapel or the maximum number of funeral (wake) events that can be accommodated at the site. We have no reason not to believe that the services and number of funerals conducted there would not increase over time as the business becomes more established.

The site plans seem to be incomplete showing no detailed outline of the proposed chapel. Importantly to us, no western elevation of the proposed chapel is included for inspection.

### **Conclusion**

Only the construction of a suitable permanent noise and visual barrier along the entirety of our shared boundaries do we see as an acceptable requirement in the development application. This should incur no cost to the neighbouring residents, but be incorporated into the development cost.

A continuation of the large hedge currently in existence along some portions of the western boundary would not be totally acceptable. This is because it cannot be maintained at a suitable height and density year round to completely obscure the intended activities within the property and vice versa. The hedge is quite bare of foliage in winter offering little obscurity or noise reduction to the activities on the other side. Further still it would take considerable time for any new planting to reach an acceptable size. It may however be useful as a softening to any constructed barrier. We would be keen to talk with council about the exact details of suitable options for a constructed barrier.

With everything said thus far we would assume that it would be in the applicant's best interest to provide suitable screening within its boundaries to protect the privacy of their business clientele, especially during funeral proceeding in the proposed chapel and its outside environs from our own activities.

We feel that our concerns regarding the proposed chapel and its use are genuine and justified. It is doubtful that any resident without a vested interest would favour this kind of development neighbouring their own property if asked.

We request a meeting with relevant council members to discuss these important issues in further detail.

It is hoped that with understanding of our concerns that a satisfactory outcome can be reached.

(signed by 6 persons from 3 separate households)



## **Submission 7**

I make the following comments as follows;

I object to ALL trees in Polworth Street being removed. I suggest one would suffice.

The plan submitted to council does not include the hedge on the centre section of the western boundary. I trust that this hedge is not being removed, if plans are to remove, I object strongly. I would also suggest that this hedge be extended along

the boundary to the northern boundary. Number 113 and 111 Cowper Street have no advantage from the current maze hedge, as it will not grow high enough to block out the view of the new building and car park.

Response to Development Application No 2018.087 Lot 121, DP 1220542, 60 Polworth St Tenterfield.

Subsequent Objections in relation to the planned proposed development of a Funeral Home at 60 Polworth Street, Tenterfield, 2372, NSW as per Tenterfield Council letter dated 15 November 2018.

Objections are based on:

- Application for Development for the Development Application No 2018.087 Lot 121, DP 1220542, 60 Polworth St Tenterfield
- Supporting Information for Application for Development of 60 Polworth Street, Tenterfield
- Proposed Plan

These were downloaded from the Tenterfield Shire Council website.

**Concerns and Objections**

We believe the following points highlight the fact that the development will have an adverse impact on our home and the other residential areas surrounding the proposed Funeral Home.

**Responses to The Application for Development**

**Part 2 - Location and Development Details**

**Description of Proposed Development**

Describe briefly your proposed development, including advertising signs, hours of operation, use, subdivision, demolition etc

- The application states they will use the existing signage within the property boundary. The existing sign is a Pole and Pylon sign that is at least 5 meters high. The sign was intrusive when it was advertising the Kraze Maze but it will be far more intrusive when advertising a Funeral Home. This will be one of the first sights when entering Tenterfield from the north, along with a speed camera and Nursing Home. Welcome to Tenterfield! At the meeting on 7 November 2018 it was also proposed that

signage would be on the Polworth Street fence facing our driveway. A constant reminder of the fragility of life.

- The application states that operation hours will only be on a needs basis, and there are no regular hours, yet their website states categorically that they offer continuous 24/7 availability. Does this offer of 24/7 service mean that deceased persons can be collected and transferred to the mortuary at any hour of the day or night?

## **Part 5 - Statement of Environmental Effects**

### **1. Context and Settings (Site Analysis)**

- a) Is the development out of character within the area (eg. Does the proposal involve a commercial or industrial use in a residential area

If a "Yes" answer is given to any of the below issues, details of likely impact(s) and the proposed means of mitigating or reducing such impact(s) must be given. This Statement of Environmental Effects is not exhaustive and is only suitable for simple Developments.

It should be expanded on where appropriate. If insufficient space has been provided, attach additional sheets.

The developers have answered 'Yes' on the application form but there were no explanatory details of the likely impact and the proposed means of mitigating or reducing such impacts.

The ambience of the area when it was the restaurant and maze produced a relaxed and happy atmosphere, it will now move to a more sombre and sadder tone, even though it is a 'Celebration of Life'. Knowing that there is a mortuary near one's home will have an impact on some residents' mental health. We also believe it will have a negative impact on real estate values.

- b) Impact on any item of heritage or cultural significance

The developers have answered 'No' though 'Airlie Park' 121 Cowper Street is listed in the Heritage Schedule of the Tenterfield Environmental Plan 2013 Current Version for 9 November 2018 to date. We believe there will be an impact on the property due not only to the nature of the development but also the fact that it will be a much larger establishment than the previous business. We also believe that the property value will decrease once again as many buyers are not only wary of purchasing properties with 'Heritage' tags but also family properties in close proximity to a Funeral Home and Mortuary.

## **2. Transport Traffic & Access**

It is deeply concerning that the developer has not identified in either the original or amended submission that there may be potential concerns with traffic and access.

Again, we reiterate that:

- Even though it is proposed that there will be 30 car parks for the Chapel complex, and 4 for the Funeral Home, Tenterfield funerals are well patronised affairs, our concern is that there will not be enough car spaces and the parking overflow could cause a traffic hazard on Polworth Street as well as obstructing our driveway, and the rear access gates to Millrace.
- There will be an Increased volume of cars and delivery vehicles on Polworth Street. It is a 'No Through Road' that is sealed only about half way down. There is no designated turning circle for cars to go down Polworth Street to turn and return to Cowper Street (The New England Highway).
- Polworth Street has always been a thoroughfare for pedestrians, many of them young children as well as horse riders. There is no footpath for pedestrians, only the grass verges.
- Congestion on main road/highway (Cowper Street) caused by multiple mourners entering and leaving Polworth Street. The bend in this section of road could potentially cause significant traffic problems, especially with heavy vehicles.
- Polworth Street is not a wide street and therefore not suitable for heavy two-way traffic, there are no line markings.

## **4. Social and Economical Impacts**

- a) Will the proposal affect the amenity of surrounding residences by overshadowing, loss of privacy, increased noise or vibration?
- b) Will the proposal have any economic consequences in the area?

Again, it is concerning that the developer has answered no to both these questions. We believe:

- the development will have a definite negative impact on real estate values and is an inappropriate fit for the area, which is primarily residential as also having an Aged

Care Hostel and Nursing Home nearby. I'm sure those residents see the irony of having a Funeral Home nearby.

- seeing a constant reminder of their mortality in viewing the Funeral Home and visual advertisements for a Funeral Home will have a detrimental effect on their mental wellbeing,
- The proposed landscaping on the western side will have an impact on those homes through the possibility of the loss of sunlight, and/or excessive shading due to the potential height of the trees if not pruned regularly. They can grow to 5 metres if not pruned.
- At the meeting of 7 November 2018, the developer was asked whether their current premises contained a mortuary, the answer was yes, but upon investigation their business is not listed on the current NSW Department of Health Mortuary Register. So the question is, do they or do they not have an existing mortuary in Rouse Street, and if they do, are the residents of Rouse Street aware of this. The Mortuary has a big impact on the amenity of the surrounding area.

## **5. Environmental Impacts (Air, Water, Soil, Water, Flora, and Fauna)**

The developer has again answered 'No' to the following questions

- d) Will excavation and/or filling be required?
- e) Will the proposal:
  - i) Emit fumes, steam, smoke vapour or dust
- f) Could the proposal affect native habitat?

Will not the removal of the central core of the maze, the levelling of the site, digging of footings etc, and preparation of the building site require excavation?

Surely as it has been so dry, and Tenterfield is drought declared that there is the possibility of excessive dust during the building process. Nowhere in the application does it state the duration of the building works, these will be right opposite our entry way.

There are trees along Polworth Street that are nesting trees for Kookaburras and other native wildlife.



## **Responses to Proposed Plan**

### **Proposed Planting of Mop Top Robinia**

It is proposed to take out all the existing pine trees, which were planted by Mrs Meredith over 30 years ago and replace them with Mop Top Robinia. They say this is so they can match the existing Tenterfield streetscape and 'provide shielding to the development'. These trees are deciduous so are not appropriate to use as 'shielding' as they will not have foliage for nearly 6 months of the year as they are heavily pruned in Autumn, and they are often slow to bud in Spring. This species of Robinia is also prone to 'suckers' and have been known to have suckers come up at least 15 metres from the main tree. The difference between the trees in the main street and the proposed planting in Polworth Street is that the trees are bordered by kerb and guttering and the road on one side and the footpath on the other. There is no kerb and guttering or concrete footpaths in Polworth Street.

Having the trees on Cowper Street (New England Highway) and Polworth Street would not really match the existing streetscape as they are nowhere near the existing trees and would look out of place. They would also emphasise the development rather than 'shield' it. The current pines are already established and provide an effective 'shield'. Why is it necessary to remove all of the pine trees?

### **Proposed Planting of Pittosporum 'Green Pillar'**

As per the Proposed Plan Pittosporum 'Green Pillar' will be planted on the western side of the development. This a fast-growing tree that if not pruned can grow to 5 meters, these tall trees may cast shadows on the existing houses in George Street as well as taking away the morning sun.

### **Stormwater**

It is still a grave concern re the stormwater drainage situation. There is a proposed grate at the entry to the Funeral Home, but the stormwater is still to be discharged to the Polworth Street 'guttering system'. To most people when looking at the plans they would have no problems with the 'guttering system' but, this is still only a ditch going down the side of the street. The elevation of the Funeral Home site means that in heavy rains the water run off goes straight into our property, sometimes necessitating our cars to be parked in Polworth Street or on the high side of our property. We do note that a water tank has been added to

the amended plans, this may help but will not solve the problem if the tank is full. The addition of 'stormwater sumps' being piped out to the street could potentially increase the velocity of water heading towards our property during heavy rains.

SCANNED

TENTERFIELD

PHONE

TAMAR DAVIDSON  
SENIOR PLANNER  
TENTERFIELD SHIRE COUNCIL

DEAR MS. DAVIDSON,

IT IS WITH THE GREATEST RESPECT  
THAT MY WIFE AND I WISH TO OBJECT TO THE ESTABLISHMENT  
OF FUNERAL HOME

THE BLOCKING OF NORMAL HIGHWAY TRAFFIC  
ON THE NEW ENGLAND HIGHWAY WHILST THE CORTEGE  
EMERGES FROM POWORTH STREET COULD CAUSE A LOT OF TROUBLE  
AND WE BELIEVE THAT THE ROADS AND MARITIME DEPARTMENT  
WOULD NOT BE WELL PLEASED WITH THIS.

THE AMBIANCE OF THIS RESIDENTIAL  
AREA WOULD BE LOST. A LARGE SIGN INDICATING DEATH  
WOULD GIVE US A BAD  
FEELING EVERYTIME WE WENT TO OUR PROPERTY.

AS WE HAVE BEEN RELIABLY INFORMED  
THE PROPERTY VALUES OF THIS RESIDENTIAL AREA WOULD BE  
GREATLY REDUCED BY HAVING THIS FUNERAL BUSINESS IN  
OUR AREA.

THE FEELING OF THE PEOPLE IN THIS AREA  
IS THAT WE SHOULD JOIN TOGETHER TO TAKE COUNCIL TO  
COURT SO THAT WE CAN BE COMPENSATED FOR ANY  
FINANCIAL LOSS THAT WE SHOULD SUFFER.

WE DO ASK YOU TO PLEASE TAKE THESE  
MATTERS VERY SERIOUSLY AS THEY ARE OF GREAT CONCERN  
TO US.

RESPECTFULLY YOURS,

DB/516

A70159

XREF ODA 2018 2014

TENTERFIELD SHIRE COUNCIL		
IDA 2018 2602		
29 NOV 2018		
	ADMIN	INFO
CL		
CCO		
COO		
SP	/	

**From:**  
**Sent:** Friday, 30 November 2018 4:31 PM  
**To:** Council  
**Subject:** IDA20182627 - DB/516 - 60 Polworth st.  
**SynergySoft:** IDA20182627 - DB/516 - 1.121.1220542

SCANNED

Dear Sir, Madam,

We wish to express our horror at reading of the proposed development of a Morgue and Funeral home at 60 Polworth St .Application No. 2018.087 Lot 121 DP.1220542.

We find it hard to believe council would consider such a proposal in the middle of a residential area. The turn from the highway in to Polworth Street heading west is a short distance from sharp turn where Rouse Street joins Cowper Street, then the sharp turn right into the proposed new drive way. With a funeral procession of mourners this seems an unsafe maneuver. the same with moaners coming from the west there must be a build up of traffic on the highway.

I live 100 mt from this proposed development how come we were not sent the notification letters?

On the corner of Polworth St and the highway opposite 60 Polworth St is an Aboriginal memorial park to Buddy around the park and here in Polworth St there are at least 4 houses for Aboriginal housing, Has the Aboriginal housing and land council been notified of this development?

I have worked extensively with Aboriginal people and I am sure many of them would never allow this to happen.

I never would have bought this house if I thought there was the slightest chance of a morgue across the road

I am concerned greatly as to the devaluation of my property if this goes ahead.

I wonder why a more suitable site in the industrial estate could not be found.

Why do 8 magnificent pine trees have to go and to be replaced with Mop Top Robina ( which have very invasive root system. If replanting is to be done why not the large deciduous type that are in the rest of polworth street.

We hope the council takes the wishes of many over the fortune of a few.

Regards,

TENTERFIELD SHIRE COUNCIL		
30 NOV 2018		
	Action	Info
CL		
CCO		
COO		
SP	✓	

DB/516  
1-121-1220542  
A 70159  
Xref ODA 2018 2044

SCANNED

The Councillors,  
  
Tenterfield Shire Council,  
Tenterfield.

Tenterfield  
29/11/2018

Development Application 2018.087, 60 Polworth Street, Tenterfield.

TENTERFIELD SHIRE COUNCIL		
IDA 20182601		
29 NOV 2018		
	Action	Info
CL		
CCO		
CCO		
SP	✓	

I object to the above Development Application, and submit the following comments,

**Traffic.**

As this is a dead end street, traffic, eg. funeral procession , will cause a problem entering the New England Highway.

**Social implications.**

As several properties back onto this site, children playing in their back yards may interfere with funeral ceremonies being conducted.

The proposed funeral home will be an ugly industrial building which has no place within a residential area.

**Location**

Enterprises such as this are usually located on a large parcel of land on the outer edge of a town or city, eg Taree 20ha, Port Macquarie 15 ha, Coffs Harbour 3ha. Kempsey may refuse an application for sight of 1.5 ha in a rural zoning because of small area.

Rule of thumb guide is that these facilities be 1km from a residential area.

PS As the applicants already have crematorium equipment, it would appear logical to me that it would be desirable to incorporate a crematorium with the funeral home. All the more reason to locate apart from a residential area.

I feel that if this application is approved, it will only be a matter of time before the applicants apply to use the shed adjacent to this site as a crematorium.



COPY

28th November 2018

The Chief Executive Officer  
Tenterfield Shire Council  
PO Box 214  
TENTERFIELD NSW 2372

Dear Chief Executive Officer,

Please accept the following objection to the establishment of a funeral home and mortuary on the corner of Cowper Street and Polworth Street Tenterfield NSW 2372. The grounds of our objection are contained in ATTACHMENT A.

It is our view that the appearance of a development application (DA) for a funeral home at the proposed location represents a serious past strategic planning failure of the Tenterfield Shire Council (TSC). The TSC could have either solely or by a public/private equity arrangement planned to develop such a facility at a more appropriate location. We believe such a development in the grounds of the cemetery would have been an ideal way to enhance its useability as well as providing an aesthetically pleasing and serene environment for people to conduct a funeral.

The fact that a private entity is now proposing such a facility clearly indicates the viability and profitability of such an enterprise. Should the TSC have had the foresight to plan for this in a more appropriate location we would not now be required to strongly object to its construction.

If the TSC has any measure of boldness and consideration for what is in the best interests of the community it should reject the current application and plan for a funeral home complex in the grounds of the cemetery.

COPY

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## ATTACHMENT A

### SUBMISSION ABOUT PROPOSED MORTUARY AND CREMATORIUM POLWORTH STREET TENTERFIELD NSW 2372

We wish to express our concerns and objections to the proposed development of the mortuary and funeral home in Cowper Street Tenterfield.

Our objections are as follows:

- The building design is very "industrial" in style and appearance. It looks more like a factory or industrial offices rather than a building in sympathy with its function as a funeral home. A more creative and attractive design could easily have been devised making use of modern architectural and building techniques as well as the wide variety of building materials available today
- The building will be very visible from Cowper street and by many people living in neighbouring properties in Cowper and George streets. The removal of the bulk of the hedges currently used as a maze will make the building even more visible
- The building will be visible to all traffic entering Tenterfield from the north via the New England Highway. This will not enhance the visitor experience
- The impact on real estate values for surrounding residences. Agents have already foreshadowed a reduction in values of between thirty to fifty thousand dollars per property. This is a very substantial reduction for homes valued under \$400,000
- The inability to provide effective suitable screening on the western and northern boundaries. The topography of the site particularly on the western side prohibits the provision of suitable screening by the planned plantings of Pittosporum. There is a drop of approx. two metres which means effective screening by medium sized shrubs or trees will be insufficient. Also the removal of the pine trees in Polworth street further exposes the site. Extensive landscaping and a substantial stand of screening trees and shrubs may beautify and screen the site but it is difficult to assess whether such landscaping will have the desired outcomes
- Access is limited, inadequate and possibly dangerous under existing roadway and street configurations. The proposed development can only be accessed via Cowper street aka The New England Highway as Polworth street is not a completely formed road from its junction with Naas street. Funeral processions will represent a traffic hazard especially if a large number of vehicles is involved. A funeral procession proceeding south on Cowper will be required to make a right hand turn across the highway exposing each vehicle to oncoming traffic heading north. This would need to be regulated by an approved traffic control contractor and this has not been considered in the proposal

- 
- The potential for submitting a development application (DA) to Council for approval to construct an on-site crematorium. We understand there was a previous (now withdrawn) DA for such a facility at a different address to the Polworth Street location. A crematorium has no place in a residential area

Re: Development Application No. 2018.087 – Lot 121 DP 1220542,  
60 Polworth Street, Tenterfield

30<sup>th</sup> November 2018

Ms Tamai Davidson  
Senior Planner  
Tenterfield Shire Council

Dear Ms Davidson,

I wish to make comment on the above proposed development application.

Whilst I understand that development is required to take place within our community, certain types of developments are suited to appropriate locations within the town.

I have been contacted by several concerned residents voicing their objection to the proposed development. In discussions with these residents who are also ratepayers, I can understand the major points to their objections are:

- The negative impact that such a development would have on their major asset, the value of their land
- Safety issues in regard to traffic associated with the development
- The use of the proposed development for after funeral functions which will take away from businesses that are providing those services currently
- The potential "threat" to those ratepayers that a potential Crematorium may be added at a later date, even though this is not mentioned in the current development application

As I mentioned earlier, I believe that development is required to take place for the community to evolve, however careful consideration should be given to the location of proposed developments such as this.

Tenterfield Shire Council  
Rouse Street,  
Tenterfield NSW 2372

Re: Proposed Development of: DA No 2018.087 for Lot 121, DP1220542, 60  
Polworth St Tenterfield Funeral Home and Mortuary

The concerns my wife and I have regarding this development are:

Polworth Street

This is a short dead-end street which does not facilitate the movement of large funeral attendance and movement into and out of Polworth Street and into Cowper Street and visa-versa. This could also cause access issues for the few residences located in this street while funeral receptions are underway. Also Milrace backs onto this street and consideration needs to be made regarding fire exit from the back of Milrace into Polworth in case of fire.

Funeral Home – Mortuary & Future Crematorium- Consequences/ Where is the Town Planning?

A few years ago a crematorium was being considered by Tenterfield Funerals somewhere in Clifton Street. I understand the erection of a crematorium is still on the cards for this company at this very site. While we do not live near Polworth Street, we do have concern about Tenterfield Council's town planning. We have vast amounts of land in which such a business could be established close to Tenterfield but **not** next to long established homes. **Surely council realises the effects on house and land values around Polworth Street.**

Tenterfield Council Approval Process

My wife and I welcome business investment in Tenterfield, but one has to question the approval process when the Council has turned back so many business proposals in the past that would have benefited Tenterfield and yet you will probably let this development progress regardless of the impact on the community financially and demographically.



Response to Neighbour Notification of Development Application No 2018.087 Lot 121, DP 1220542,  
60 Polworth St Tenterfield.

Objection in relation to the planned proposed development of a Funeral Home at 60 Polworth Street, Tenterfield, 2372, NSW.

To Tamai Davidson

We believe that the proposed development will have an adverse effect on the residents adjoining the surrounding development, these include land values , community mental health, Traffic entering and leaving the development on to the highway.

This development is better suited up near the cemetery than placed in a residential area.

Submitted by

30 November, 2018

TENTERFIELD SHIRE		
COUNCIL		
30 NOV 2018		
IDA 2018 2622		
	From	Info
CL		
CCO		
CCO		
SP	✓	

Xref ODA 2018 2044

TENTERFL

ANNED

To  
The Chief Executive  
Tenterfield Shire Council  
247 Rouse Street  
TENTERFIELD NSW 2372

**Re : DA No 2018.087 for Lot 121. DP 1220542, 60 Polworth Street. TENTERFIELD**

Talking to homeowners of George Street about this proposal and the implications for them personally and financially, it must be very daunting for them.

- Will they be able to sell their properties because of this development and if so, what will be the loss in value?
- Who will buy their property knowing that this development is happening?

This is also going to affect our property in Polworth Street and yet Council has made no effort to notify us to register our objection.

Apparently this application is only the tip of the iceberg.

**Firstly-** With the procession of mourners leaving the Chapel in Polworth Street and turning left onto the New England Highway there is going to be extreme danger – with the stop sign and the motor vehicles that are heading north, it will be a very major traffic safety issue.

Obviously – there needs to be an alternative, which means that Polworth Street would be the next choice. As it is a 'No Through Road' at the moment, it will need to be developed. Many questions unanswered about this direction!!!!

**Secondly** – Apparently there are plans for a Crematorium for Polworth Street. Why should this be allowed in a residential area? No wonder the homeowners of George Street are extremely upset and dismayed, along with the residents of Polworth Street. As a resident of Millrace, it would be a very disturbing psychological reminder of the inevitable.

Residents need to be informed about the safety issues that relate to Crematoriums and if emissions etc are constantly monitored and reported. Should this be close to homes??

Approval of such a development would obviously ignore the objections and concerns of the ratepayers and support bad decision making processes by the Council.

Yours Sincerely

TENTERFIELD SHIRE COUNCIL		
30 NOV 2018		
IDA 2018 2621		
	Achen	Info
CI		
CCO		
CCO		
SP	✓	

ANNED

Tenterfield NSW 2372

Xref ODA 2018 2044

The General Manager  
Tenterfield Shire Council  
247 Rouse Street  
Tenterfield NSW 2372

Dear Sir

**Development Application No. 2018.087 – Lot 121 DP 1220542, 60 Polworth Street, Tenterfield**

I refer to the above described Application and object to the proposal for the following reasons:

1. A Mortuary adjacent to private dwellings will devalue the property values and make the opportunity of selling properties less favorable going forward.
2. I understand, but have no proof, that the applicants if successful will subsequently (if they have not already lodged an unpublished application I suspect they may have already discussed same with officers of the Council) seek to have a crematorium approved and constructed. This would be disastrous for adjoining property owners excluding of course Mr. Curry whom I understand resides adjacent to the proposed development.
3. Having a Mortuary and a Crematorium adjacent to a Nursing Home is also in very poor taste. Imagine those sick and dying citizens of this Shire having their last days knowing their destination is next door. Very poor form.

I look forward to Councils determination in due course. I believe if approved, and if a Crematorium is constructed thereafter, it will have a bearing on how in the future this town develops.

Yours faithfully

COUNCIL		
3.0 NOV 2018		
IDA 2018 2624		
	ALDO	Info
CI		
CEO		
COO		
SP	✓	

Xref ODA 2018 2044

SCANNED

N.S.W. 2372.

29.11.18.

Dear Mrs. Samai Davidson,  
 Senior Planner,  
 Senterfield Shire Council,  
 247 Rouse St;  
 Senterfield, N.S.W. 2372.

I wish to lodge  
 my objection to the Development Application  
 for a proposed Funeral Home & Mortuary  
 - No 2018.087, Lot 121 DP 1220542, 60 Polworth  
 St; Senterfield.

As I fear my home will become devalued.  
 I am also concerned that a Crematorium  
 could be constructed on the Funeral  
 Home & Mortuary grounds.

Surely this tremendous  
 development could be constructed on  
 a more suitable site away from houses  
 and the main road.

Yours faithfully,

Response to Neighbour Notification of Development Application No 2018.087 Lot 121, DP 1220542,  
60 Polworth St Tenterfield.

Objection/Questions in relation to the planned proposed development of a Funeral Home at 60 Polworth Street, Tenterfield, 2372, NSW.

We believe the above-mentioned development may have an adverse impact on our home or and other areas surrounding the proposed Funeral Home.

Notification of Applications

- We believe it would reduce real estate values in our vicinity. This has happened in other towns and larger urban areas. We also believe it is an inappropriate business for the area, which is primarily residential. There are two Aged Care Hostels in the immediate area.
- What is the current zoning of the property? Does it need to be changed?
- What was the reason that not all Tenterfield residents were able to have a say in the development. It impacts on all.

Water Drainage

- How will the rainwater be dealt with? There are no storm water drains in this part of town.
- What provisions have been made to prevent water from running from the development into neighbouring properties?
- The toilets used to smell when the Maze was busy, what measures will be taken to ensure this problem has been rectified?

Waste Management

Questions as to the above and waste management were not sufficiently covered in the submission.

- Will there be any odours from the preparation room?
- How will hazard waste materials be stored and removed?
- And what is a slop hopper?
- If hazardous chemicals are used what signs be displayed?
- How will waste water be dealt with in case it is contaminated with chemicals?
- Will they have industrial waste bins located within their grounds?

Development on land adjoining Residential development

- No mention of the number of funerals per year.
- Car parking and loading/unloading areas – insufficient car parks will create a traffic hazard on Polworth Street as it is a narrow street.
- Hours of operation, the development submission did not indicate hours.
- A funeral home doesn't create a happy tone in the neighbourhood.

Security of Building

- Will there be lights at night for security?
- If there are going to be floodlights what measures will be taken to ensure nearby residents will not be negatively impacted by bright lights?

- Is there a backup generator in case of power failure?
- If there is a backup generator what measures will be taken to ensure nearby residents are not negatively impacted by noise?

### Access and Traffic

The potential of a development to create additional traffic loads on the road network needs to be assessed.

- Increased volume of cars and delivery vehicles on Polworth Street.
- This is a 'No Through Road' that is sealed only about half way down, cars attempting to drive through to Nass St, may get 'stuck in the mud' trying to get through during wet weather. No signs alerting motorists not to go any further.
- Polworth Street has always been used by pedestrians and horse riders.
- Congestion on Cowper St due to entering and leaving Polworth Street. especially from the south.
- Entry onto the highway for a funeral procession could prove hazardous considering the volume of heavy vehicles using the road.

### Signage

- The advertising for the Kraze Maze was a large pole sign. The submission did not indicate how they would advertise the business. How do they intend to advertise their business?
- What impact will these signs have on nearby residents?

### Additional concerns

- Why are all the pine trees being removed? They were planted by Mrs Meredith over 30 years ago.
- Is kerb and guttering part of the proposal?
- Does the Funeral Home have any plans in the future to install a crematorium?
- The privet hedge has not been well maintained. The flowers from the privet hedge can irritate the airways of susceptible people – this hedge is so high on the south-eastern side that it flowers and smells for weeks at a time, as no-one seems to be able to reach it to prune the flowers.
- Polworth Street is very narrow, there is a concern about the number of cars using the street turning around, general congestion for a large funeral.
- There is already a non-denominational chapel in Tenterfield the former Methodist Church.

Also we have noticed on their Development application on page 8 Part 5 sec 1

The question is:

" Is the development out of character within the area (e.g. does the proposal involve a commercial or industrial use in a residential area) . They have answered Yes.

The whole development is out of character within the surrounding area, which is residential, it should be positioned near the existing cemetery.

### Part 5 sec 2 Traffic

As above we have stated our concerns with the traffic flow. In this section they believe that a Funeral procession would not impede on the traffic, by answering No to all questions ,I beg to differ , just trying to get a funeral procession out of Polworth st would be dangerous an considering that enters on to a New England highway/Cowper st does it need RMS approval ? How are they going to control the traffic .

Will their method of controlling the traffic meet legal requirements?



Part 5 sec 4 part B , Social and Economical Impacts

"Will the proposal have any economic consequences in the area"

They answered NO

Of course it will, nearly all of the property surrounding the area has already lost value just because of the application, it has been shown that most properties near a Funeral home lose up 6% to 10% of value off the house even more in some cases, In a conversation with one of the residents effected by this proposal they said an I quote " If I knew this was going to be built I would not have bought the house"

Part 5 sec 5 part D

"Will excavation and/or filling be required" answer NO. They are putting in a whole new building how are they not doing some excavation work for sewage, drainage, building foundations??

Also where are the other 8 pages of the Development application? The Development application on the Tenterfield shire council website only shows 12 pages out of 20.

Not all questions have been answered

One Question that the Developers have not really answered is will there be crematorium in the future as they have land below the proposed development site that would accommodate such a building which would have more impact on surrounding houses.

This whole development is not appropriate for the surrounding area or wellbeing of the residents in the area.

Submitted by

TENTERFIELD SHIRE COUNCIL		
28 NOV 2018		
IDA 2018 2588		
	AGILE	100
CE		
COO		
COO		
SA	✓	

28 November 2018

Tenterfield Shire Council  
Rouse Street  
Tenterfield NSW 2372

Xref ODA 2018 2044

To Whom It May Concern,

We are writing to **object** to the proposed Funeral Home on Cowper Street, Tenterfield.

Whilst we are not objecting to a funeral home itself, we are objecting to the location, potential decrease in value of our property and potential traffic implications.

1. We believe this is something that should **not** be in a residential area, and better located in a business or industrial area of Tenterfield.
2. There have been discussions with the local residents and businesses in Tenterfield and suggestions have been made that this is going to affect the valuations of our properties neighboring this development. We are not in a position to accept any decrease in value, nor should we be expected to.
3. We are concerned about the traffic and implications this may have on Cowper Street (New England Highway) as any standstill to traffic may cause serious issues/ accidents near the sweeping bend leading onto Rouse Street. Such an event will increase traffic flow through the quite residential street of George Street.

Whilst we applaud new ventures and businesses in Tenterfield we think this proposed business needs to be moved to a more suitable location that will have less impact and strain on the local residents.

We thank you for your time and the consideration of all of the objections to this proposal.

Kind Regards,

ODA 2018 2623

DB/sib.

TENTERFIELD SHIRE		
COUNCIL		
DB/516		
27 NOV 2018		
IDA 2018 2587		
	Action	Info
CL		
CCO		
COO		
SP	✓	

Xref ODA 2018 2044

26 November 2018

Tenterfield Shire Council  
247 Rouse Street  
TENTERFIELD 2372

Dear Sir/Madam

DEVELOPMENT PROPOSAL – DA2018 – 087

We would like to place our objection to the proposal for a Funeral Home and Mortuary at 60 Polworth Street, Tenterfield.

In our opinion, the location is unsatisfactory, due to:

- it being located in a residential area
- risk of lower house/land valuations
- being at a dangerous intersection with New England Highway
- the safety concerns raised by the possibility that through traffic may encounter slow-moving processions in an area with poor visibility (imagine a B-double coming around the bend and a procession is exiting Polworth Street – could be catastrophic)
- the uncertainty of what the owners have in mind for the future. Could a crematorium be next?

We are confident there are other locations that could be chosen on the outskirts of town which would be more suitable and safer.

Yours faithfully

\* 12163

---

The General Manager  
TENTERFIELD SHIRE COUNCIL  
347 Rouse St (PO Box 214)  
TENTERFIELD  
NSW 2372

**RE; Neighbour Notification of Development Application No 2018.087  
Lot 121, DP 1220542, 60 Polworth Street, Tenterfield.**

Dear Sir,

We write to formally object to the proposed 'Funeral Home & Mortuary' at the abovementioned address for the reasons given below.

- A development of this nature, in our near proximity will have a negative impact on the value of our major asset, our House and land on Rouse St. It was revealed at the recent meeting with residents at the Maze, that property values have already been impacted by the "threat" of this development, indicating a \$50,000 reduction in value for one property which was in the process of being sold. We have consulted with an Estate Agent who advises that we could expect a Twenty to Fifty Thousand Dollar reduction in value if this development is approved. Based on these estimates and assuming the influence is limited to say 20 Residences, surrounding owners would lose from \$400,000 to \$1,00,000 in non-redeemable value for the sake of profit for others. This would not be a "Fair" or "Equitable" outcome. The number of effected properties could well exceed our supposed 20, there would certainly be a knock-on effect.
- There is adequate land available much more suited to a project of this nature, where it would not impact on the value of existing residences, for instance, in the Industrial Area developed by Council, surely for just such Projects as this.
- **Safety of travelling public and Mourners:** A procession, large or small. of mourners entering the NE Highway from Polworth St could well cause a backup of Northbound Highway Traffic towards the sharp bend from Rouse St to Cowper St creating a real risk of "tail end" accidents. Not only that but this same procession, if turning to

go South, could be in danger from heavy transports coming downhill under brakes.

- Whilst not in this Development Application, the prospect of adding a Crematorium in this area was raised at the Meeting at the Maze. The indications from answers given were that one would likely be considered in the future and that it would not be ruled out by Council's Zoning Regulations. This continuing "threat" would greatly increase the devaluation of surrounding properties, particularly if the current DA is approved.

One would not expect a good, responsible Citizen to conduct their business in such a way, that they effectively strip Hundreds of Thousands of Dollars from their surrounding neighbours property values. Nor would you expect Councillors or Council Executives, acting "without fear or favour", to approve, sanction or encourage such a development.

Yours faithfully,

ICR 2018 9084

Tenterfield NSW 2372

21<sup>st</sup> November 2018

The Tenterfield Shire Council  
247 Rouse Street  
Tenterfield NSW 2372

Re: Development Proposal – Funeral Home and Mortuary  
60 Polworth Street Tenterfield  
DA 2018 – 087

Dear Sir

I am opposed to this DA in the location where it is proposed. George Street is a quiet residential street and does not need this business to be located there. I am not opposed to the funeral home as such, but I believe it should be located in the Industrial Estate in Riley Street. The Tenterfield Shire Council has responsibly created the Industrial Estate to encourage new business and I think that this is the way forward for Tenterfield.

I believe this proposal will affect the values of residential property in this vicinity dramatically.

Please encourage the applicants to build the funeral home in Riley Street as new business is always welcome.

Concerned owner of George Street Tenterfield.

Yours faithfully



----- Forwarded message -----

Date: Thu, 22 Nov. 2018, 5:51 pm

Subject: DA Application for Mortuary/ Funeral building Rouse Street

To: Bronwyn Petrie <[petrieb@nswfarmers.org.au](mailto:petrieb@nswfarmers.org.au)>, Greg Sauer <[gregsauer13@gmail.com](mailto:gregsauer13@gmail.com)>, Gary Verri <[bargary@reachnet.com.au](mailto:bargary@reachnet.com.au)>, Brian Murray <[bjm245@live.com.au](mailto:bjm245@live.com.au)>, Don Forbes <[donald.forbes@bigpond.com](mailto:donald.forbes@bigpond.com)>, Bob Rogan <[bobrogan48@gmail.com](mailto:bobrogan48@gmail.com)>, Peter Petty <[peter.petty@ymail.com](mailto:peter.petty@ymail.com)>

Cc: pamela <[parkerpam345@gmail.com](mailto:parkerpam345@gmail.com)>

Hi Bronwyn/ Councillors

Re: DA Application for MORTUARY / Funeral Home  
Cowper Street Tenterfield

This matter will come to your attention shortly. Although this does not affect me personally I can see how it would have some serious impacts on neighbours and particularly on property values for residences close by. Apart from the fact that the proposed building is very ugly, there does not seem much intention by the developers to screen or beautify the block. As the developers intend to remove most of the Maze hedges, the building will be very visible from the Highway and from neighboring residences. The avenue of pines in Polworth Street is also to be removed, which will further expose the building. The proposed Pittosporum hedge will be useless on the western side, as there is a considerable drop from the adjoining block. The new hedge would need to be planted at the very top of the quite steep embankment to be any use as a screening hedge. This will be quite difficult. There appears to be no plan to plant trees or a taller

screening hedge on the Northern boundary. A row of purple Prunus Nigra Fastigiata would look very nice behind the existing Lonicera hedge, and would help to screen the building from the Highway.

There is considerable concern by neighbours that once the Mortuary building is approved there will be a further DA to Council for the installation of a Crematorium. Since the developers have previously submitted a DA for a Crematorium ( the DA was later withdrawn ) it would be a reasonable assumption that a new DA for a Crematorium would be in the pipeline. Apparently Crematorium equipment has already been purchased.

The last thing we need is a huge big chimney , or a big ugly building clearly visible from the Highway to greet tourists as they enter the town, not to mention the impact on neighbours. Our town has so much beauty with it's trees, gardens and parks , which are a big attractant for visitors. Any new development of the scale of the proposed building should be located in the Industrial area or at the very least the Developers should be required to invest in considerable landscaping, screening and beautification. Please give this matter some serious consideration.

Kind Regards,

Fax:

Email:

Website:

gov.au

**Confidentiality Notice**

The information contained in this email is for the named recipient only. It may contain privileged and confidential information. If you are not the intended recipient, you must not copy, distribute, take any action in reliance on it, or disclose any details of the email to any other person, firm or corporation. If you have received this email in error please notify the sender and destroy the original.



On 30 NOV 2018, at 11:11 AM,

Hi Greg and Michael,

I am quite alarmed that this Council would even consider the above application. A development of this nature would have a negative impact on the residents living near Krahes Maze.

Traffic would be unbelievable with the cortege on the main highway, especially around that bend. More alarming is the fact that in the Development application the prospect of adding in a crematorium was raised, and indications are could be considered. I am emailing you to reconsider this application, and I feel the location is not desirable for both local residents and the elderly of Millrace. The local residents around Kraze maze would lose the value on their properties, and surely there are other land locations for such a facility. I have not objection of a development of a Funeral Home/Mortuary for our town but in an another location would be ideal not at Krahes Maze.

Thank you,

Regards,

# 15098

IDA20182620

General Manager  
Tenterfield Shire Council

**Submission re:       Development Application No. 2018.087**  
**Lot 121, DP 1220542**  
**60 Polworth Street, Tenterfield**  
**Proposed Funeral home & Mortuary**

I understand that Tenterfield, being a small town, does not have specific land use zoning within the town and that technically, anyone can build just about anything anywhere.

However, communities tend to organize themselves into functional areas by mutual understanding despite the lack of zoning. In Tenterfield, the town over time has developed a civic and business area and a variety of residential areas. A heritage area and a light industrial area have been specifically identified. Businesses not in the town area or industrial area exist on the peripheral of the town. Residential areas are just that.

While change is not a thing of itself to cause concern, the intrusion of a business into a residential area alters the characteristics of a locale.

In George Street, between Riley and Cowper Streets, the residents have invested approximately 6 million dollars in purchasing their properties. The residents comprise young families and retirees who have invested in this precinct because of its quiet residential characteristics. As it is a desirable area of town, they have paid above average prices for their properties and many have upgraded and renovated their homes at considerable cost. This has all been to the benefit of Tenterfield local businesses and tradespeople. Allowing a business to establish in the area has the potential to alter the ambience of the neighbourhood and impact local property values.

A decrease in property values then has the potential to incrementally alter this precinct of the town if homeowners decide it is no longer the environment in which they choose to live. Many of the people in this area have moved here from other places and bring with them considerable disposable income and community commitment. Others are hard working families with community involvement building a future in Tenterfield for their children. Maintaining the characteristics of the area is of benefit to the whole community of Tenterfield.

I believe the planned mortuary and funeral home will have specific impact on our community because of the very nature of the business to be carried out on the premises. While death and its attendant procedures do not bother me personally, conversations with my neighbours indicate that the proximity of this facility will cause considerable stress to some because of the young ages of children and personal belief systems about death.

In submitting my objection to this development, I ask the council to be aware that we are not just people in houses. We are Tenterfield residents and community members who contribute considerably to the social and economic strength of our town – and as such object most strongly to this adverse development in our community.

Yours faithfully

Re; DA No. 2018.087 60 Polworth Street, Tenterfield. NSW.

Att: General Manager, Tenterfield Shire Council.

C/ Tamai Davidson, Senior Town Planner,

Dear Tamai,

Thank you for the notification on the Development Application for the proposed 'Funeral Home and Mortuary' at the above address.

As a close neighbour to this property we object to the proposal on a number of grounds and submit our reasons for objection as follows;

\*This type of business is not suitable in a residential area or in close proximity to the aged care facility 'Millrace' and should be established in a more industrial or commercial area;

\*The reduction of property/ monetary values on neighbouring land created from being so visible and dominate from every angle would be devastating to all parties adjacent. We own land on the corner of George and Cowper Street, and another block on the corner of Polworth and Naas Streets that both have views over the proposed site.

\*The increased vehicle traffic could be very dangerous entering from and back onto the New England highway, with a blind corner to the east and a steep hill from the west and also with the nature of this industry mourners are sometimes not fully alert to traffic movements. The other alternate would be if Polworth Street was opened to through traffic, which we also object too for the same reason of the increase in traffic movements, and the inability to leave our property at times when a funeral procession was in progress.

\*The likely hood of the Business expanding to carry out cremations is very likely and we notice this was discussed at a previous meeting with adjoining neighbours, (Letter to Editor of Tenterfield Star 28<sup>th</sup> Nov, 2018) in which council stated this is not part of the current application (but no one ensured this could not be added in the future) and this is another reason for the unsuitable location/ proposal.

\*The portion of the DA which states how the previous Restaurant Building being converted to a Chapel would have a reduction of clientele and noise (and also be alcohol free) I find is hard to believe, and if funerals were held at this site the overflow from limited parking would have an effect on neighbouring properties and be a safety issue also.

\*The proposed Funeral Home building is so large and would be so visually dominate if permitted, I believe it should at least be constructed in a more unobtrusive fashion and as a minimum be clad in a similar material and finish of the current building to blend in with the surrounds.

For the above reasons, we strongly object to the proposal,



SCANNED

Attn: Noeline Hyde,

On behalf of Pamela Parker with whom I believe you spoke to recently regarding petition forms to be lodged by 30<sup>th</sup> November 2018 in response to Development Application No. 2018.087 Lot 121, DP 1220542, 60 polworth Street, Tenterfield. Please find here the Petition forms.

Regards

Mark Ibbett

53 George St Tenterfield.

Mobile: 0439472411

DB/516

TENTERFIELD SHIRE		
COUNCIL		
IDA 2018 2618		
30 NOV 2018		
	Action	Info
CI		
CCO		
CCO		
SP	✓	
EA		✓

Xref ODA 2018 2044

# Petition to

Petition summary and background	Council to refuse DA for mortuary and funeral home on the corner of Polworth St. and New England Highway.	
Action petitioned for	We, the undersigned, are concerned citizens who urge our leaders to act now to stop this DA.	

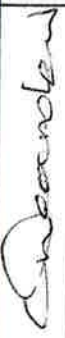









Printed Name	Signature	Address	Comment	Date
Stacy Gaudin	[Signature]	156 Rouse Street Tenterfield NSW 2372 P 02 6736 1248 E contact@flanagan-tenterfield.cc...	RESIDENTIAL	24/11/18
Paul Bandy	[Signature]	21 Rouse St Tenterfield	SHOULD BE IN A INDUSTRIAL AREA	24/11/18
Rob Westerman	[Signature]	156 Rouse St Tenterfield	NOT IN RESIDENTIAL AREA	24/11/18
MIKE HALLSON	[Signature]	Alarshot Road	Not in Tenterfield	26/11/18
Thomas O'Driscoll	[Signature]	ANDERSTON ROAD	NOT IN TENTERFIELD	25/11/18
David Huntley	[Signature]	Rouse Street	Not in residential area	26/11/18
Jan McMeah	[Signature]	Dryden St, Tenterfield	Not in residential area	26/11/18
THOMAS FROEL	[Signature]	114 Lindesay Rd, Tenterfield	" "	26/11/18
Chapelle Kasevan	[Signature]	371 Rouse St	Shouldn't be in residential area	26/11/18
STEVE AUFORD	[Signature]	277 ROUSE ST	SHOULD BE IN INDUSTRIAL AREA	26/11/18
Laurie Stenzel	[Signature]	277 Rouse St	NOT in Town	26/11/18
HELEN CHERRY	[Signature]	277 Rouse St	NOT in residential area	26.11.18
KERRY HICKEY	[Signature]	277 Rouse St	NOT IN RESIDENTIAL AREA	26.11.18

Dr. S

RICHARD SAMUEL	R. Samuel	112 COWPER ST.	SHOULD BE OUT OF TOWN	26-11-18
TERRINA SAMUEL	T. Samuel	112 COWPER ST.	NOT IN TOWN	26-11-18
RICHARD KELLY	Richard Kelly	110 COWPER ST	TOTALLY INAPPROPRIATE	26-11-18
JACI VALENTINE	Jaci Valentine	114 COWPER ST	NOT APPROPRIATE	26-11-18

# Petition to

Petition summary and background	Council to refuse DA for mortuary and funeral home on the corner of Polworth St. and New England Highway.	
Action petitioned for	We, the undersigned, are concerned citizens who urge our leaders to act now to	








Printed Name	Signature	Address	Comment	Date
CAROL DEARDEN		22 Duncan St 40 George St	It's all about the location.	27/11/18
Chrissy Sommerled		119 Pelham Street Tentfield	Not against but in a different area.	28/11/18
RAS HOLMES		73 PELHAM ST TENTERFIELD	on location	29/11/18
Karen Tapscott		266 Douglas St, T Field	Not against - don't like in residential area.	26/11/18
Jennifer Koch		12234 Brunner Highway Tentfield	Not against - don't like in residential area.	26/11/18
Frances Moore		11 Clarence St, Liston	Potential to disrupt traffic	27-11-18
FRANK VATA		203 PELHAM ST. T FIELD	NOT AGAINST - BUT DON'T LIKE IN RESIDENTIAL	27-11-18
Luke Odger		94 Rouse St T Field	Not against - But don't like in residential	27-11-18
JOHN HANDERS		132 WOOD ST T FIELD	NOT IN RESIDENTIAL	27-11-18
Peter Chittick		91 Moleworth	Not against. But	
			Not in residential	29.11.18



[illegible]

## Petition to

Petition summary and background	Council to refuse DA for mortuary and funeral home on the corner of Polworth St. and New England Highway.	
Action petitioned for	We, the undersigned, are concerned citizens who urge our leaders to act now <del>to</del>	

Printed Name	Signature	Address	Comment	Date
RICHARD PRIME		124 WOOD STREET TENTERFIELD 2372	NOT IN A RESIDENTIAL AREA	24/11/18
Raul Latta		148 Bowyer St Tenterfield	" "	24/11/18
Jenny Pitkin		Bungulla Tenterfield		24/11/18
Mr Annan		3CLARA ST TENTERFIELD		24/11/18
Colin Parker		111 COMPER ST, TENTERFIELD		26/11/18
Krystine Osture		144 Miles St TENTERFIELD	NOT IN A RESIDENTIAL AREA	27/11/18
Anne Harmond		84 Dura St TENTERFIELD		28/11/18





## Petition to

Petition summary and background	Council to refuse DA for mortuary and funeral home on the corner of Polworth St. and New England Highway.	
Action petitioned for	We, the undersigned, are concerned citizens who urge our leaders to act now to stop this DA.	

Printed Name	Signature	Address	Comment	Date
MARK IBBEY	<i>mm ibbey</i>	53 GEORGE ST		29-11-18
S. Ibbett	<i>S.I.</i>	53 George St	No to development	29/11
M. Brewster	<i>M. Brewster</i>	45 George St	Unsuitable for this area	29.11.18
G. BEUSCH	<i>G. Beusch</i>	✓ ✓ ✓	✓ ✓	29.11.18
John Cerrri	<i>John Cerrri</i>	27 George St		29-11-18
<i>19 Dink</i>	<i>PR Dink</i>	11 George St	?	
Valerie Melling	<i>Valerie Melling</i>	Owned by 5 George St. Field mortuary is	Feel that the mapping provided should not be in residential area.	29-11-18
KAY GRAY	<i>K. Gray</i>	1 GEORGE ST TENTHED		29.11.18
MAX GRAY	<i>M. Gray</i>	1 GEORGE ST THIED.		29.11.18
THELMA COX	<i>T.C.</i>			
GRAEME ROOTS	<i>G. Roots</i>	28 GEORGE ST. FIELD	NOT SUITABLE FOR IN TOWN.	29-11-18
Denis Hull	<i>D. Hull</i>	50 George St	will effect property prices	29/11/18
Toni Hull	<i>T. Hull</i>	50 George St	Residential area not appropriate for business.	29.11.18





8 November 2018

**Re: Potential impact on property values situated within close proximity to a funeral home/chapel**

To Whom It May Concern:

I have been requested by Glen Curry of Tenterfield to provide my professional commentary and opinion on the impact on property values as a result of a proposed funeral home/chapel situated at 60 Polworth Street, ( corner of Cowper and Polworth Streets) Tenterfield.

Mr Curry has informed me that he has submitted a Development Application to Tenterfield Shire Council to change the use of the property from a tourist attraction (Café/Maze) to a Funeral Home and Chapel. As a result of lodging that application, I am advised that some of the neighbours believe there will be a negative impact on their property values. The following outlines my professional opinion in relation to this matter.

**COMMENTARY**

Currently developed on site is the former "Kraze Maze and Café complex situated on a gently sloping, rectangular shaped site of 4972m<sup>2</sup>. I note the site has RU5 Village zoning and surrounding development comprises motels, large lot residential, vacant land and a number of dwellings of mixed age and construction.

See below site plan;



Funeral Homes/Chapels generally one would expect, be a place of peace and solace with perhaps some potential vehicular traffic during daylight hours and would be quiet of a night.

**However, when one considers the prior use of the subject site as a tourist attraction, I would expect that it would have had far more vehicular traffic than the proposed use of the site as a Funeral Home/Chapel.**

I have viewed the plans of the proposed development which includes alterations and additions to the existing building and is generally in keeping with the current façade thereby minimising an overall visual impact to the site. With less traffic converging on the site, overall I would consider there to be no perceived detrimental factors that would warrant a reduction in land values as a result of the proposed development of the site.

### **DETERMINING LAND VALUES**

For the record, land values in NSW are determined by way of a mass valuation approach. All properties are grouped into components which are similar in nature or expected to experience similar changes in value. Each component has a Primary Benchmark and generally up to 3 or 4 Reference Benchmark properties. These Benchmark properties represent the broader range of properties within the component. A broad range of sales are inspected and analysed and the Primary Benchmark is individually valued as at the 1 July of that year using these sales to calculate the rate of change in value from the previous year. *Refer NSW Valuer General Website for further information.*

Valuers analyse a number of sales during the year and adjust the sale price removing all the added improvements on the site to determine a raw land value. There are a number of factors taken into consideration when comparing the sales to the benchmark properties including the lands highest and best use, zoning, heritage or other constraints, size, shape, features and **NEARBY DEVELOPMENT AND INFRASTRUCTURE**.

To be quite blunt, in my 13 years professional experience as a property valuer, I am yet to witness a negative impact on surrounding property values as a result of a premises being converted to a funeral home/chapel. Evidence indicates land values surrounding a funeral home/chapel generally rise and fall in line with the current property market at the time.

### **EXAMPLE OF EVIDENCE OF IMPACT TO SURROUNDING LAND VALUES**

To provide some evidence, in 2013 the Ballina McDonalds store situated at 21-25 Kalinga Street West Ballina suffered irreparable damage as a result of a fire. A decision was made to sell the site and it was purchased by an organisation who converted the property to a funeral home / chapel.

Note: Surrounding development comprises single storey brick and tile dwellings of modest to average quality and street appeal, vacant commercial zoned land and the old Pacific Highway (River Street).



Publicly available Google GLOBE mapping indicates there has been no impact on land values in the surrounding area since 2013 (Date of conversion of property). See below for information





Valuer General

Property Number 1645586

[View in SiX Maps](#)

[Show boundary](#)

Address 19 KALINGA ST, WEST BALLINA NSW 2478

Zone<sup>1</sup> R2 - Low Density Residential

Area 637.3 square metres

Valuation Basis 6A(1) - The land value is the freehold value of the land excluding any structural improvements

Land values

1 July 2017	\$220,000
1 July 2016	\$206,000
1 July 2015	\$187,000
1 July 2014	\$179,000
1 July 2013	\$171,000

The information shown was current at 11 November 2016.

The current land value for rating purposes is the value at 1 July 2016. The Valuer General's website provides further information on [how land values are used to determine council rates](#).

For information about land valuations, visit the [Valuer General's website](#) where you will find:

- information on how to [request a review](#) of your land value
- access to a free detailed [land value search](#)
- access to a free [valuation sales report](#) which lists a selection of the sales considered during the valuation process.

This land value search does not convey a right to have the land value reviewed.

<sup>1</sup> Zone information shown above is the information recorded on the Planning and Control and should not be used as a basis for any other purpose.



Valuer General

Property Number 1645684

[View in SIX Maps](#)  
[Show boundary](#)

Address	22 KALINGA ST, WEST BALLINA NSW 2478
Zone <sup>1</sup>	R2 - Low Density Residential
Area	688.6 square metres
Valuation Basis	6A(1) - The land value is the freehold value of the land excluding any structural improvements

Land values

1 July 2017	\$212,000
1 July 2016	\$199,000
1 July 2015	\$181,000
1 July 2014	\$173,000
1 July 2013	\$165,000

The information shown was current at 11 November 2018.

The current land value for rating purposes is the value at 1 July 2016. The Valuer General's website provides further information on [how land values are used to determine council rates](#).

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This land value search does not convey a right to have the land value reviewed.

<sup>1</sup> Zone information shown above is the information recorded on



Valuer General

Property Number 1645685

[View in SIX Maps](#)  
[Show boundary](#)

Address	20 KALINGA ST, WEST BALLINA NSW 2478
Zone <sup>1</sup>	R2 - Low Density Residential
Area	717.9 square metres
Valuation Basis	6A(1) - The land value is the freehold value of the land excluding any structural improvements

Land values

1 July 2017	\$212,000
1 July 2016	\$199,000
1 July 2015	\$181,000
1 July 2014	\$173,000
1 July 2013	\$165,000

The information shown was current at 11 November 2018.

The current land value for rating purposes is the value at 1 July 2016. The Valuer General's website provides further information on [how land values are used to determine council rates](#).

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- access to a free [valuation sales report](#) which lists a selection of the sales considered during the valuation process.

This land value search does not convey a right to have the land value reviewed.

<sup>1</sup> Zone information shown above is the information recorded on





Valuer General

Property Number 1645683

[View in SIX Maps](#)  
[Show boundary](#)

Address 24 KALINGA ST, WEST BALLINA NSW 2478

Zone<sup>†</sup> R2 - Low Density Residential

Area 661.9 square metres

Valuation 6A(1) - The land value is the freehold value of the land excluding any structural improvements

#### Land values

1 July 2017	\$212,000
1 July 2016	\$199,000
1 July 2015	\$181,000
1 July 2014	\$173,000
1 July 2013	\$165,000

The information shown was current at 11 November 2018.

The current land value for rating purposes is the value at 1 July 2016. The Valuer General's website provides further information on [how land values are used to determine council rates](#).

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- access to a free detailed [land value search](#)
- access to a free [valuation sales report](#) which lists a selection of the sales considered during the valuation process.

This land value search does not convey a right to have the land value reviewed.

<sup>†</sup> Zone information shown above is the information recorded on the Planning and Control map and should not be relied upon for legal purposes.



**Valuer General**

**Property Number 1645680**

[View in SIX Maps](#)  
[Show boundary](#)

**Address** 30 KALINGA ST, WEST BALLINA NSW 2478

**Zone<sup>1</sup>** R2 - Low Density Residential

**Area** 660.8 square metres

**Valuation Basis** 6A(1) - The land value is the freehold value of the land excluding any structural improvements

**Land values**

1 July 2017	\$212,000
1 July 2016	\$199,000
1 July 2015	\$181,000
1 July 2014	\$173,000
1 July 2013	\$165,000

The information shown was current at 11 November 2018.

The current land value for rating purposes is the value at 1 July 2016. The Valuer General's website provides further information on [how land values are used to determine council rates](#).

For information about land valuations, visit the [Valuer General's website](#) where you will find:

- information on how to [request a review](#) of your land value
- access to a free detailed [land value search](#)
- access to a free [valuation sales report](#) which lists a selection of the sales considered during the valuation process.



**Valuer General**

**Property Number 1645681**

[View in SIX Maps](#)  
[Show boundary](#)

**Address** 28 KALINGA ST, WEST BALLINA NSW 2478

**Zone<sup>1</sup>** R2 - Low Density Residential

**Area** 632.3 square metres

**Valuation Basis** 6A(1) - The land value is the freehold value of the land excluding any structural improvements

**Land values**

1 July 2017	\$212,000
1 July 2016	\$199,000
1 July 2015	\$181,000
1 July 2014	\$173,000
1 July 2013	\$165,000

The information shown was current at 11 November 2018.

The current land value for rating purposes is the value at 1 July 2016. The Valuer General's website provides further information on [how land values are used to determine council rates](#).

For information about land valuations, visit the [Valuer General's website](#) where you will find:

- information on how to [request a review](#) of your land value
- access to a free detailed [land value search](#)
- access to a free [valuation sales report](#) which lists a selection of the sales considered during the valuation process.

As can be evidenced above, this is just one example where a funeral home/chapel has been built where the façades have changed slightly and the traffic has dramatically decreased indicating no negative impact on the land values of the surrounding properties.

In summary,

In my professional opinion i can see NO potential negative impact on the land / property values in the surrounding area of the proposed funeral home/chapel on the corner of Polworth and Cowper Streets, Tenterfield.

Kind regards  
John



**John Northfield AAPI CPV**  
**Senior Valuer**  
**M. 0427786900**  
**E. [john.northfield@eastpoint.com.au](mailto:john.northfield@eastpoint.com.au)**  
**EastPoint Valuations**



## **Glen Innes Valuation Services**

ABN 44 204 944 624

PO Box 99 Glen Innes NSW 2370 Phone: 02 6732 1895

Email: mikewilliamsvaluation@gmail.com

Glen,

Thanks for your e mail and attachments and phone call re your proposed funeral home development.

Based on empirical evidence of similar developments in other New England towns, I cannot see how your development would have a detrimental effect on property values in the immediate area.

In Glen Innes the funeral home is in a residential area and opposite the RSL club. In Inverell and Armidale the funeral homes, combined with chapels and crematoria are on the edge of the towns adjacent to lifestyle residential areas. In these instances there is no firm evidence whatsoever that surrounding property values have decreased because of their presences.

It is also noted that, taking advantage of the existing hedges and other growth, the proposed development would be shielded from public view and from most of the surrounding development. This is contrary to most capital cities where funeral homes/chapels are set on busy roadways in developed residential areas. From inquiries, this has had no negative effect on property values.

Based on these inquiries, I cannot find any firm evidence surrounding properties will be financially disadvantaged and so stop the development or have cause for compensation for disturbance or any other reason.

Any queries, please give me a call.

Regards,

Mike Williams AAPI (No 67996) FREAV., JP.



## Glen Curry

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**From:** Jonathan Lea <JLea@taylorbyrne.com.au>  
**Sent:** Tuesday, 13 November 2018 12:01 PM  
**To:** Glen Curry  
**Subject:** RE: Funeral Home DA

Hi Glen

I have had a look at the proposed development and surrounding area map. Regarding your request for my opinion on the effect the proposed development will have on the surrounding houses I make the following comments:

- I have not undertaken a full before and after assessment of each adjoining property, so my comments are based on my opinion only and without full analysis. If full analysis is required I recommend an impact report be obtained.
- Considering the current use as a 7 day a week approved restaurant /café and tourist attraction, I do not believe there will be an increased impact to the surrounding houses if not a decreased impact.
- The stigma attached to the funeral home and its effect upon adjoining properties is unknown and would be difficult to assess. The effect on the market that a residential property adjoining a funeral home in a small rural township would be minimal however there maybe a few purchasers which may be deterred by the existence of a funeral home.
- Considering the properties proximity to the highway and the noise pollution caused by this, it could be assumed that a purchaser in this location would not be deterred by the funeral home as the traffic noise would have a greater effect upon marketability over and above that of the existence of a funeral home.

I hope that this is sufficient for you needs. If you have any other queries please feel free to contact me on the below details.

Regards

**Jonathan Lea AAPI CPV**

**Director | Taylor Byrne**

PO Box 513 | Inverell NSW 2360

Level 1, 138 Byron Street Inverell NSW 2360

p 02 6722 1350 | dl 02 6784 7750 | f 07 3840 3099 | m 0428 417 291

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IDA2018 2592-

Dear Glen,

Thank you for inviting me to be Celebrant for Spencer Spinaze's funeral service on 23/11/18. It was ( between us) a lovely celebration of his life on the land he loved and nurtured - his family property (despite the red dust and wind).

As a past Funeral Director and a Celebrant of many years I wish to convey to you some perceptions I have of your team at Spencer's funeral. You and Lisa and Robyn and Troy displayed top-shelf professionalism. The dignity you brought to the occasion was palpable. Throughout the service the demeanour of your team was respectful, observant, focussed, calm, yet ready to engage if needed.

I particularly was impressed with the points of difference (from other Funeral Directors I have worked with).

1. You invited the pall bearers to remain after placing the coffin on the grave as the chosen song played through. Most "dump and run".
2. Your team played the selected songs on queue and all the way through. I very much appreciated their alacrity, and it is a pet hate of mine to shorten the song.
3. Prior to the service the members of your team were totally focussed on their roles - no fuss; have everything ready. No idle chatter. Professional.
4. It was interesting to note that the gentlemen who conducted the RSL service were unaware of how to fold the Australian flag. You and Lisa facilitated the placement of poppies and rosemary, the removal of the flag from under the casket cover without having to take it off, and the folding of the flag in the manner designated by the RSL in such a manner that another local Funeral Director who happened to be present (family connection) was very impressed!
5. Though of less significance, the uniform, the hearse, the lectern, the water container all spoke of a professional unit.

I wish you well in your vocation as Funeral Director to the people of Tenterfield.

I have no doubt the manner in which you treat grieving families is compassionate and thoughtful.

Every best wish as you serve those people in their most vulnerable times. .

Kind Regards,

Sue Roff (Celebrant) -

# 25236

Tenterfield NSW 2372

27 November 2018

To whom it may concern

At approximately 11.15am on Saturday 24 November, Mrs Pamela Parker entered our business premises, purchased a clip folder to hold paperwork and then requested us to sign her petition against the development application from Mr and Mrs Glen Curry and Mr and Mrs Troy Hillier of Tenterfield Family Funerals.

Mrs Parker informed us that Tenterfield Family Funerals were applying to develop the "Kraze Maze" site into a Funeral Home and then eventually a Crematorium would be installed.

I asked to see the paperwork she had and read the covering letter from the Tenterfield Shire Council. Nowhere in the letter did the word Crematorium appear. We both looked at the plans which also did not include a Crematorium. Mrs Parker stated that if the Tenterfield Shire Council gave their approval for this initial development then a Crematorium would be the next stage. I tried to say that would not necessarily be the case but she would not listen.

Mrs Parker again insisted both of us should sign the petition. We both stated our opinion that the proposed facility was a great idea and would be a benefit for the people of Tenterfield and Districts and we would not sign that petition. I stated that for those people who weren't religious or who didn't want a Church funeral this will give them the option of having a service at the new Funeral Home.

We felt Mrs Parker was giving us the wrong impression of the development proposal and pressuring us to sign.



**Karen Stewart**

SUPPORT  
SCANNED

**From:**  
**Sent:** Friday, 30 November 2018 4:25 PM  
**To:** Council  
**Subject:** IDA20182626 - DB/516 - the Proposed DA for Funeral Parlour  
**SynergySoft:** IDA20182626 - DB/516 - 1.121.1220542

I refer to the application for a Funeral Parlour and Mortuary  
Application No: 2018.087-Lot 121 DP 1220542

I am writing this letter of a way of having input into this proposal.  
I believe I should not be of any consequence to your decision as I live on the eastern side of town, But after watching everything that has been written, both in the local Paper and social media  
I believe as a business person I might weigh in

I would like to express my concerns that council will feel pressure from public scrutiny, instead of looking at the facts  
It is a great service for Tenterfield  
It is in a very inconspicuous part of town  
It is tasteful and respectful  
The proposed business hours, are far less intrusive, and are much shorter, than previous approved businesses.

The idea that locals are looking to "take it to the industrial estate" is filled with flaws. I have property in the industrial estate, and I would have no objections to this proposal up there, but I do know I wouldn't like a funeral service to be surrounded with the noise, dust and busyness of the estate.

I really think this boils down to peoples fear of their own mortality and ultimate death. They feel somehow by living near it, it makes it real

If the application goes through, the neighbours will survive, the house market won't crash, and life will go on.  
In six months' time the locals will be talking about something else  
I believe the people of Tenterfield by majority would be behind this application, but we remain silent under public trial like we are witnessing.  
I feel immensely sorry for the parties concerned as they are having their names slandered around town, and for what reason? Because they are looking to expand their business.

This business has already gained a reputation as a sincere, and respectful organisation, that approach the most traumatic time in someone's life with professionalism, empathy and kindness.  
I hope you, Tenterfield Shire Council, consider everything, not just the public outcry ( from a minority) in your decision making.

Thank you for taking the time to read my letter

Kind Regards

TENTERFIELD SHIRE COUNCIL		
30 NOV 2018		
	Action	Info
CL		
CCO		
CCO		
JP	✓	